

**Beplanning en Ontwikkeling
Planning and Development**

Collaborator No.: 3899547
Reference / Verwysing: Erf 1741, Blanco
Date / Datum: 24 July 2026
Enquiries / Navrae: Andrea Griessel

Email: marius.swart@gmail.com

MARIUS SWART
6 Hortensia Avenue
Denneoord
GEORGE
6529

APPLICATION FOR PERMANENT DEPARTURE: ERF 1741, BLANCO

Your application in the above regard refers.

The Senior Manager: Town Planning (Authorised Official) has, under delegated authority, 4.17.3.13 of 24 April 2025 decided that the application for Permanent Departures in terms of Section 15(2)(b) of the Land Use Planning By-law for George Municipality, 2023, for the relaxation of the north-eastern side boundary building line from 2m to between 0.3m and 0.1m for the legalisation of the existing braai room on Erf 1741, Blanco;

BE APPROVED in terms of Section 60 of the said By-law for the following reasons:

REASONS:

- (i) The proposed development will not have a negative impact on the character of the area, natural environment or adjacent property owners' rights and amenities.
- (ii) The additions form part of normal residential development and can be accommodated within the property's cadastral boundaries.
- (iii) No comments or objections were received from the adjacent property owners.

Subject to the following conditions imposed in terms of Section 66 of the said By-law, namely:

CONDITIONS:

- 1. That in terms of the provisions of the Land Use Planning By-law for George Municipality, 2023, the approval shall lapse if not implemented within a period of two (2) years from the date the approval comes into operation.
- 2. This approval shall be taken to cover only the departure applications as applied for and as indicated on the site layout plan, plan no. RFB22509A, drawn by MS Drafting Services dated September 2025 attached as "**Annexure A**" which bears Council's stamp and shall not be construed as to depart from any other Council requirements.

3. The above approval will be considered as implemented on issuing of the occupation certificate in accordance with approval of building plans.

Notes:

- (i) A building plan must be submitted for approval in accordance with the National Building Regulations.*
- (ii) Applicant to show all existing structures on site as well as structures to be removed when submitting Building Plans for approval.*
- (iii) Stormwater must be managed and dispersed responsibly, and appropriate stormwater management and retention measures must be indicated on the building plans. The building plans must also illustrate the natural drainage patterns on site.*

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Planning and Development, P O Box 19, George, 6530 or Directorate: Planning and Development, 46 Market Street (Old York Hostel Building), George **on or before 14 AUGUST 2026**, and simultaneously submit a copy of the appeal on any person who commented, made representations or objected to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officer mentioned above.

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

Yours faithfully



C PETERSEN

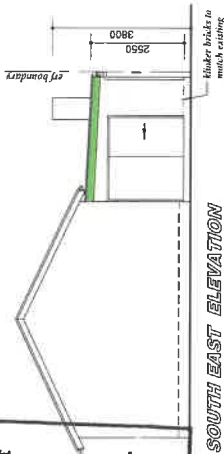
SENIOR MANAGER: TOWN PLANNING

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Approved in terms of Section 60 of the George
municipality: Land Use Planning By-Law (2023) subject
to the conditions contained in the covering letter.

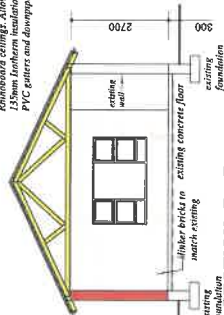
SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STATSBEPANNING

SOUTH EAST ELEVATION



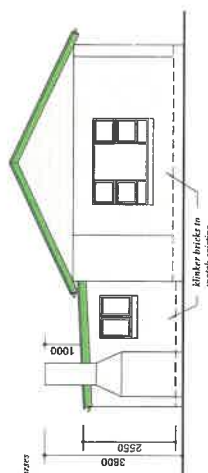
SOUTH EAST ELEVATION

Roof: Cement roof tiles to match existing on 3x18 battens @ \$20 c/cr on Gundle underlute yellow dpc on Gangnail roof trusses @ 760 c/c on 114 x 36 wall plates tied down with Gubbs, keep roof built into wall 6 courses down. Roof pitch to match existing Rhinoboard ceilings. Allow for 135mm Isotherm insulation PVC gutters and downpipes



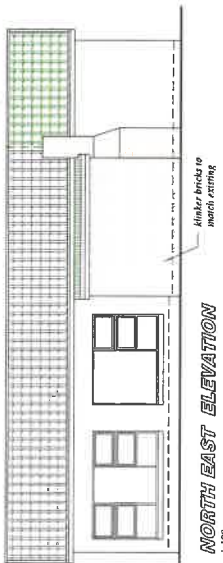
SECTION B - B

NORTH WEST ELEVATION
100

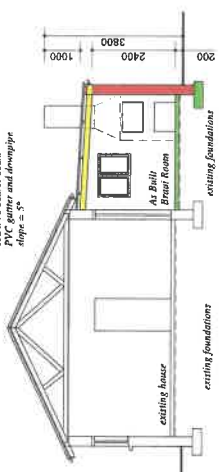


NORTH WEST ELEVATION
100

ROOF CONSTR:
*Mac: Steel IFR longspan roof sheets on
 76 x 50 purlins @ 1150 c/c on
 152 x 38 rafters @ 1100 c/c
 on 114 x 38 wall plates
 fixed to wall with truss hangers
 152 x 76 bearers beam
 pvc gutter and downpipe*

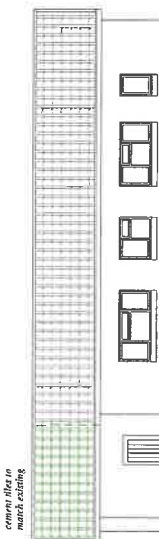


NORTH EAST ELEVATION
1:100



SECTION A - A
1:100

001 - SOUTH WEST ELEVATION



001:50

ROOF CONSTRUCTION		3.70
MINIMUM R-VALUE		
ROOF COVERING		0.00
INSULATION FR 405		0.68
ROOF SPACE		0.18
35mm ISOTHERM INSULATION		2.83
CEILING - 6mm PVC		0.06
TOTAL R-VALUE		3.75

AREA:	
Existing House	94m ²
As Built Brassi Room	<u>13m²</u>
Total	107m²

**Drafting
Services**

M. Swart P-ArchT Reg.No. T1463
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082 3419000
marinus.swart@gmail.com

**EXISTING HOUSE
ON ERF 1741
BLANCO**

AS BUILT BRAAI ROOM

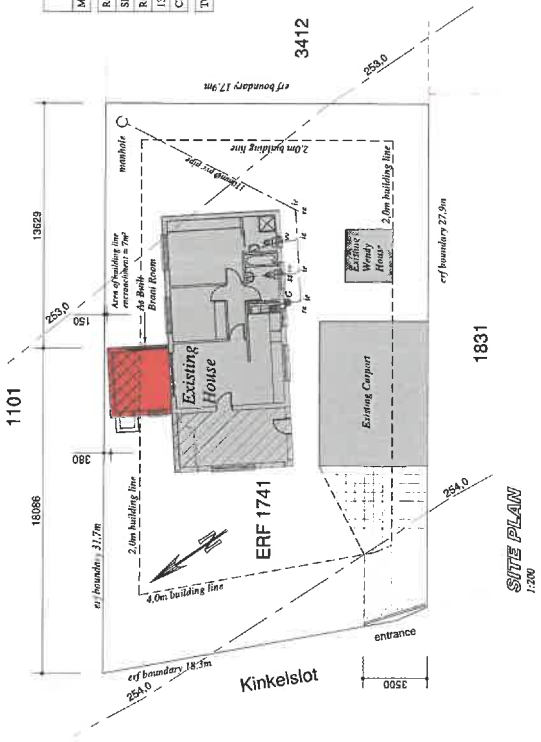
OWNER: R & F Brink
5 Kinkel Close 073 877 

SIGNATURE: 

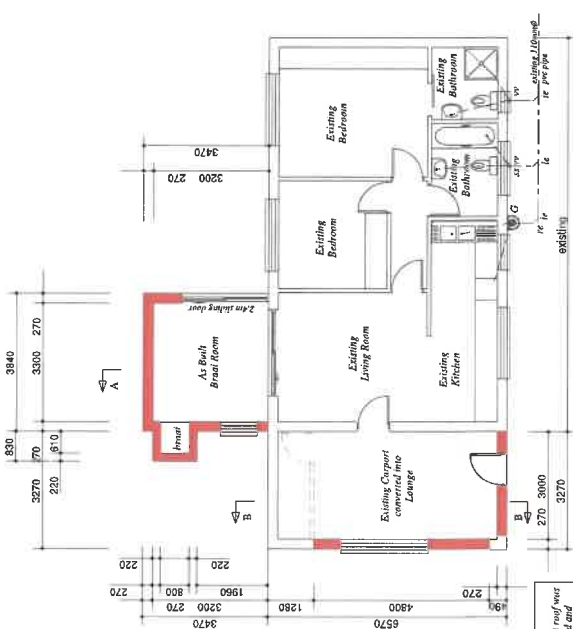
DATE: September 2025

SCALE:	1:100
PLAN NO:	RFB22509A

Note :
Drainage installation to comply with SANS10400 Part P
No structure or any part thereof may encroach the erf boundary
Rainwater may not be discharged onto a neighbouring property
Drainage installations under buildings must be installed in terms of Part P of SANS10400 (4.22.2)
No building or any part thereof to be occupied without an Occupancy certificate been issued.



SITE PLAN
1-2M



GROUND STOREY
1:100

NOTE:
IBR flat roof was
removed and
replaced with
cement tile
pitched roof to
match existing