



The Municipal Manager
P O Box 19
George
6530

Reference: Erf 1748 George

15 June 2026

Sir

APPLICATION FOR PERMANENT DEPARTURE (RELAXATION OF PARKING REQUIREMENTS): ERF 1748 GEORGE

Attached hereto, please find an application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the parking requirements stipulated in the table entitled "Minimum off-street parking requirements" in Section 42(2) of the George Integrated Zoning Scheme 2023, in respect of Erf 1748 George to accommodate the existing coffee shop on the erf.

Your speedy consideration of the application will be appreciated.

Thanking you in anticipation.

Jan Vrolijk

MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURE (RELAXATION OF PARKING
REQUIREMENT)
ERF 1748 GEORGE

15 June 2026



Prepared for:

Bayleaf Properties (Pty) Ltd
24 Cathedral Street
George
6529

Prepared by:

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SACPLAN Registration No A/1386/2011

INDEX

1. APPLICATION

2. DEVELOPMENT PROPOSAL

3. PRE-APPLICATION CONSULTATION

4. GENERAL INFORMATION REGARDING ERF 1748 GEORGE

- 4.1 Locality
- 4.2 Existing land use
- 4.3 Extent
- 4.4 Present Zoning
- 4.5 Surveyor General Diagram
- 4.6 Title Deed
- 4.7 Power of Attorney
- 4.8 Bondholder's consent
- 4.9 Conveyancer certificate

5. DESIRABILITY OF APPLICATION FOR PERMANENT DEPARTURE (RELAXATION OF PARKING REQUIREMENT): ERF 1748 GEORGE

- 5.1 Introduction
- 5.2 Existing planning in the area
- 5.3 Impact on schools, open spaces and other community facilities
- 5.4 Impact on sunlight, view and privacy
- 5.5 Impact on streetscape
- 5.6 Impact on property values
- 5.7 Impact on provision of parking
- 5.8 Impact on traffic circulation
- 5.9 Provision of services

5.10 Firefighting

6. CONCLUSION

ANNEXURES

Annexure "A": Proposed site plan and building plan

Annexure "B": Application form

Annexure "C": Approval from Heritage Western Cape dated 17 February 2026

Annexure "D": Locality plan

Annexure "E": Surveyor General Diagram

Annexure "F": Title Deed

Annexure "G": Company Registration Certificate

Annexure "H": Power of Attorney

Annexure "I": Conveyancer Certificate

MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURE (RELAXATION OF PARKING
REQUIREMENT)
ERF 1748 GEORGE

1. APPLICATION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the parking requirements stipulated in the table entitled “Minimum off-street parking requirements” in Section 42(2) of the George Integrated Zoning Scheme 2023, from 4 parking bays per 100m² to 3 parking bays per 100m² (PT1) to accommodate the proposed coffee shop on Erf 1748 George.

The proposed site plan is attached hereto as **Annexure “A”**. The completed application form for the application for permanent departure is attached hereto as **Annexure “B”**.

2. DEVELOPMENT PROPOSAL

The application erf had initially been developed with a dwelling house and outbuildings.

The dwelling house has previously been extended and converted into a business building with a covered patio and the outbuildings have been converted into staff quarters, storerooms and an office. A covered patio had also been added. The buildings on the erf are currently used as a coffee shop, which includes a reception / coffee preparation area, kitchen, scullery, indoor -and outdoor seating areas, an office, storerooms and staff quarters.

A parking area for 7 vehicles is located on the southern side of the main building, with access from both Cathedral Street and Moore Lane. The following photo shows the north-west elevation of the outdoor seating area.

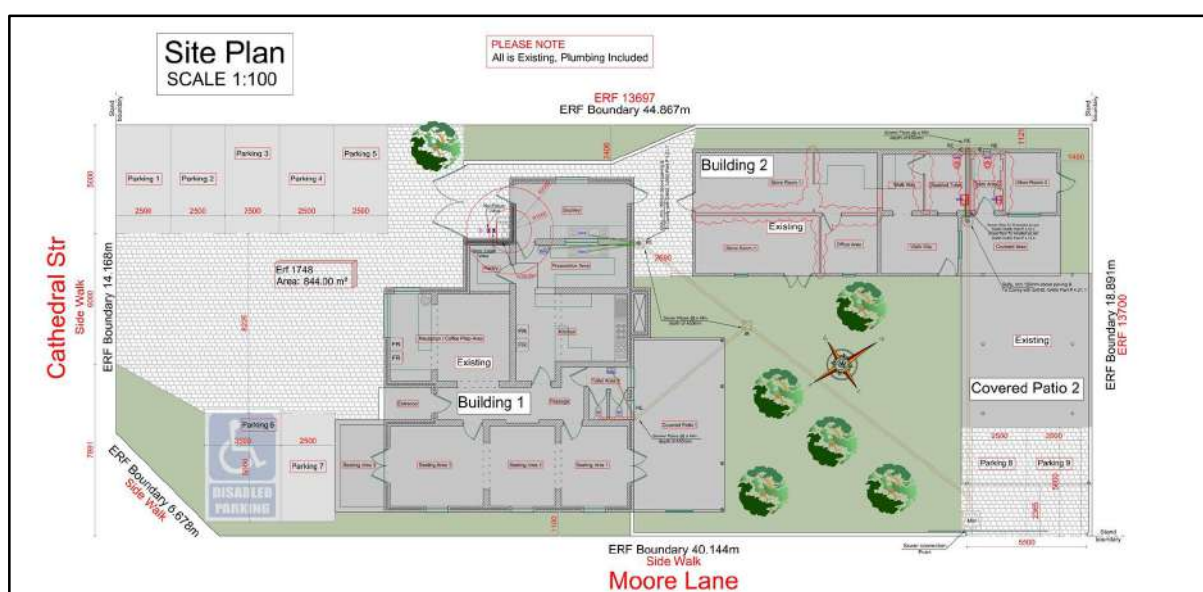


The dwelling house appears on the 1957 aerial photo of the area concerned and is therefore considered to be older than 60 years. The current business building bears little / no resemblance to the single storey dwelling house, as the façade has been altered, and new structures had been added. The following photo, which was taken westwards from Moore Lane, shows the south elevation of the main building on the right of the photo, as well as the parking area.



The owner of the erf appointed a Heritage Impact Assessment consultant to assess the appropriate level of management required in respect of the possible heritage resource and to submit a Permit application to Heritage Western Cape. A plan indicating, the site layout and architectural images of the existing coffee shop, was approved by Heritage Western Cape in terms of the National Heritage Resources Act, 1999, on 17 February 2026. A copy of the plan approved by Heritage Western Cape is attached hereto as **Annexure "C"**.

The following proposed site plan indicates the siting of buildings and structures on the application erf, as well as the proposed parking areas and access to the erf. As indicated on the proposed plan, provision is made for 9 on-site parking bays, in 2 separate parking areas, with access from Cathedral Street and Moore Lane, respectively. A copy of the proposed plan is attached hereto as **Annexure "A"**.



Space for the 2 proposed parking bays in the north-eastern corner of the erf will be created by removing a portion of the covered outdoor seating area in the north-eastern corner of the erf, as well as a corresponding portion of the street boundary wall in Moore Lane. The following photo shows the portion of the covered outdoor seating area to be replaced.



The proposed provision of on-site parking on the application erf does not conform with the requirement for “normal” areas, as set out in the George Integrated Zoning Scheme By-Law, 2023. Application is therefore made for a permanent departure from the parking requirement applicable to the coffee shop (restaurant), to allow the parking bays as indicated on the proposed site plan.

3. PRE-APPLICATION CONSULTATION

A pre-application consultation was not requested as the proposal entails a permanent departure for the relaxation of the parking requirement to accommodate the existing use of the erf for a coffee shop (restaurant). This is in line with the e-mailed directive in this regard to various consultants by the Municipal Town Planners, which was issued by e-mail dated 10 May 2022.

4. GENERAL INFORMATION REGARDING ERF 1748 GEORGE

4.1 Locality

Erf 1748 George is used for business purposes (coffee shop).

Erf 1748 George is 837m² in extent.

In terms of the George Integrated Zoning Scheme By-Law, 2023, the zoning of Erf 1748 George is Business Zone I.

4.5 Surveyor General Diagram

The Surveyor General Diagram of Erf 1748 George is attached hereto as **Annexure “E”**

4.6 Title Deed

Erf 1748 George is currently registered in the name of Bayleaf Properties (Pty) Ltd., Registration number 2020/857941/07. The Title Deed of Erf 1748 George is attached hereto as **Annexure “F”**.

4.7 Power of Attorney

A Certificate, issued by the Commissioner of Companies & Intellectual Properties Commission, on 10 November 2020, certifying that Daniele Schiavi and Giorgia Ivana Schiavi are the only Directors of Bayleaf Properties (Pty) Ltd Registration number 2020/857941/07, the registered owner of Erf 17552 George, is attached hereto as **Annexure “G”**.

A Power of Attorney, whereby Jan Vrolijk Town Planner / Stadsbeplanner is appointed by Daniele Schiavi and Giorgia Ivana Schiavi, the only Directors of Bayleaf Properties (Pty) Ltd Registration number 2020/857941/07, the registered owner of Erf 1748 George, to prepare the applications referred to in point 1 of this motivation report and to sign all relevant documents is attached hereto as **Annexure “H”**.

4.8 Bondholder's Consent

Erf 1748 George is not encumbered by a bond.

4.9 Conveyancer Certificate

A Conveyancer Certificates in respect of Erf 1748 George is attached hereto as **Annexure “I”**. The Conveyancer Certificate confirms that there are no conditions in the Title Deed of the application erf which restrict the permanent departure as proposed in this application.

5. DESIRABILITY OF THE APPLICATION FOR PERMANENT DEPARTURE (RELAXATION OF PARKING REQUIREMENT) IN RESPECT OF ERF 1748 GEORGE

5.1 Introduction

Specific issues which must be addressed in the motivation of applications are highlighted in the Land Use Planning By-Law for George Municipality, 2023. These issues are, however, aimed at more complex applications and are not applicable to lesser applications, such as permanent departures in respect of relaxation of parking requirements.

This application will therefore be motivated with reference to the following aspects:

- *Compatibility of the proposal with the existing planning and land uses of the surrounding area.*
- *The impact that the proposal will have on the surrounding environment.*
- *The impact that the proposal will have on traffic and parking in the surrounding area.*
- *The impact that the proposal will have on surrounding facilities such as schools, open spaces and other community facilities, should the application result in an increase in the population of the area concerned.*
- *The impact that the proposal will have on the existing character of the surrounding area and the right of the inhabitants of the area in respect of property values, privacy, view, sunlight, et cetera.*
- *Provision of essential services.*

5.2 Existing planning in the area

The application erf is situated in the north of the George CBD. The area surrounding the application erf is characterized by mixed use development, with business and commercial buildings, municipal buildings, churches, schools, flats and dwelling houses in the vicinity.

The area is served by the public transportation routes of the “Go George” transportation service along Courtney Street, which is within 300 metres to the north of the application erf, as well as in Hope Street, to the east of the erf. The proposed relaxation of the parking requirement is in

line with the stipulation in the George Integrated Zoning Scheme By-Law, 2023, for areas which are situated within walking distance of the public transportation service.

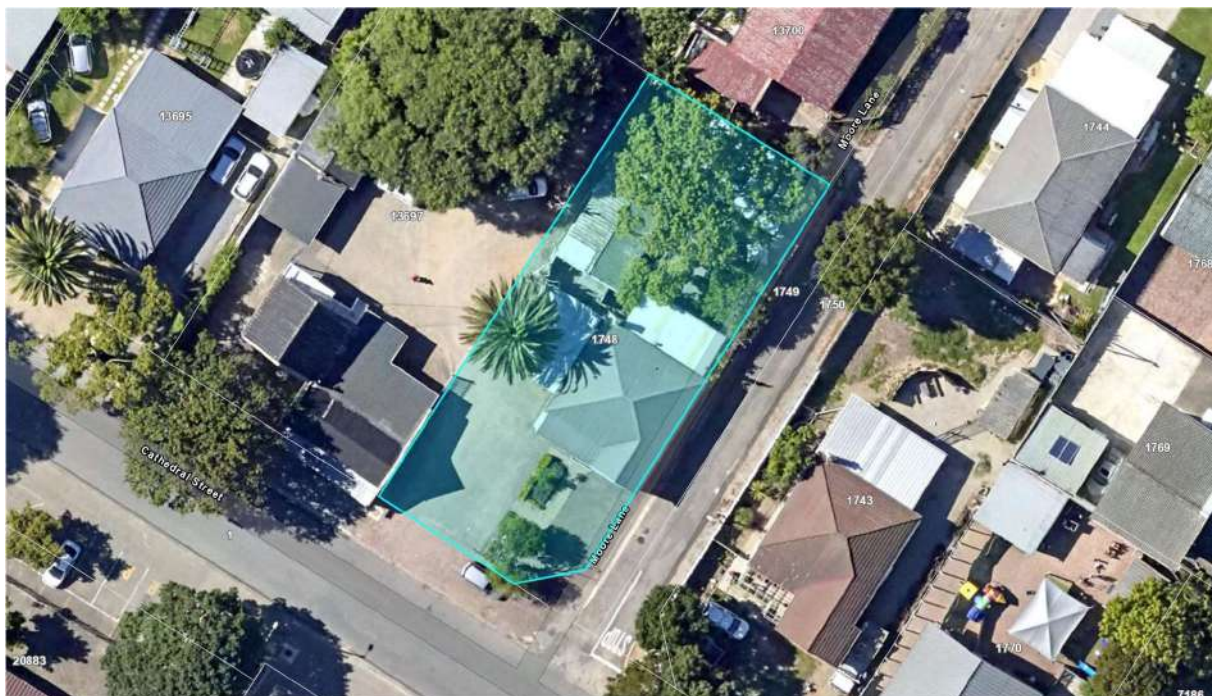
The permanent departure, as proposed in this application, will not establish an undesirable precedent and can be accommodated within the existing planning of the area concerned.

5.3 Impact on schools, open spaces and other community facilities

The application erf is used for business purposes. The proposed permanent departure will not result in an increase in the number of inhabitants of the application erf. As such, the permanent departure as applied for, will not have a direct impact on schools, open spaces and other community facilities in the area. This aspect is, therefore, not relevant to this application.

5.4 Impact on sunlight, view and privacy

The following aerial photo indicates the properties surrounding the application erf.



The Cathedral Street parking area is situated east of the existing building on Erf 13697 George, which is used for church purposes. Irrespective of the number of parking bays, the open parking bays on that portion of the application erf can have no impact on the sunlight, view or privacy on the adjacent erf. The 2 proposed parking bays in the north-eastern corner of the application erf are situated south of the vehicular access to the garage on Erf 13700 George and can also not have an impact on the sunlight, view or privacy on the adjacent erf.

The proposed relaxation of the parking requirement can, therefore, not have an impact on the sunlight, view or privacy of the adjacent erven.

5.5 Impact on streetscape

The following photos shows the current Cathedral Street elevation of the application erf.



Currently, vehicles park in the middle of the paved parking area, with street access from the western and eastern side. As indicated on the proposed site plan, it is intended to provide street access from Cathedral Street in the centre of the street front of the erf, with parking bays along the western and eastern side boundaries.

The following photo shows the current Moore Lane elevation of the application erf. It is proposed to provide 2 parking bays in the north-eastern corner of the erf, by removing the north-eastern portion of the street wall.



The parking area on the southern side of the erf has been part of the streetscape of the application erf for many years.

The proposed permanent departure, which will result in reducing the number of on-site parking required from 10 parking bays to 9 parking bays will not have a negative impact on the streetscape of the application property.

5.6 Impact on property values

As indicated in the previous points, the permanent departure as proposed in this application will not have a negative impact on any of the surrounding properties. The development on the erf represents a substantial capital investment in the property by the owner. The value of surrounding properties can, therefore, not be negatively impacted upon by the proposal.

5.7 Impact on provision of parking

The parking requirements applicable to different land uses are set out in a table entitled “Minimum off-street parking requirements” in Section 42 of the George Integrated Zoning Scheme By-Law, 2023. The application erf has been developed with a coffee shop (247.63m²), which includes 2 covered outdoor seating areas. In respect of the existing business development, 4 parking bays per 100m² GLA are required, which results in 10 parking bays required.

As indicated on the proposed site layout plan attached hereto as **Annexure “A”**, 9 parking bays are provided on the erf. The provision of parking does not conform with the requirement for “normal” areas, as set out in the George Integrated Zoning Scheme By-Law, 2023. The parking provided is, however, in line with the parking requirement in “PT1” areas, namely 3 parking bays per 100m² GLA.

The application erf is situated within 300 metres to the south of Courtney Street, which is one of the main routes of the “GO George” public transportation service, as well as close to the Hope Street route of the transportation service. Application is therefore made for a permanent departure from the parking requirement in respect of the coffee shop to align the parking with the parking required in Section 42(2) of the George Integrated Zoning Scheme 2023 in respect of “PT1” areas.

In this regard the following aspects should be considered:

- In the table “Minimum off-street parking requirements” in Section 42 of the George Integrated Zoning Scheme By-Law, 2023, different parking requirements, which vary according to the area where the application erf is situated, are proposed. The table refers to “*Normal Areas, PT1 Areas and PT2 Areas*”, with “*PT*” referring to “*Public Transport*”. The philosophy behind the differentiation in parking requirement in the table is that the larger the availability of public *transport*, the lower the parking requirement. It is indicated that the “*PT1 Areas and PT2 Areas*” must be indicated on the zoning map accompanying the By-Law. The plan indicating the areas is not available yet. The differentiated parking requirements can, therefore, not be implemented without a specific application for relaxation of the parking requirement. It has, however, been indicated by officials responsible for the determination of the parking requirements that it is generally accepted that the “*PT1*” parking requirements apply along bus routes.

- The application erf is situated within walking distance from the Courtney Street and Hope Street routes of the “Go George” public transportation service. It is therefore clear that the locality of the application erf conforms with the requirement to be considered being situated within a “PT1” area and that the parking ratio applicable to “PT1” areas should apply.
- The purpose of a public transportation service is to curb the use of private vehicles, which will result in optimal use of the public transportation service. By lowering the parking requirement, the public is encouraged to use public transport. The relaxation of the parking requirement, therefore, has a direct impact on the success of the public transportation service. Due to the locality of the application erf, any owner / tenant can conveniently use the public transportation service to access the required facilities.
- The fact that the application erf is located within walking distance from the bus routes along Courtney Street and Hope Street of the “Go George” public transportation service, will enhance the accessibility to areas which are not within walking distance of the application erf. This fact also creates the opportunity to relax the parking requirement on the application erf.
- Due to the location of the application erf on the mentioned transportation route, the erf is also easily accessible to general labourers in the business.
- Being situated in the CBD of George, the coffee shop on the application erf is within walking distance from many potential customers, reducing the need for on-site parking.

In view of the above, it is argued that there is no reason why the application for the permanent departure cannot be approved.

5.8 Impact on traffic circulation

As indicated on the proposed site plan and building plan, attached hereto as **Annexure “A”**, the Cathedral Street parking area has been provided with a single access point. There is good visibility from the access point towards oncoming traffic in Cathedral Street. There is also good visibility into Moore Lane (a minor street, which carries little traffic) from the 2 on-site parking bays.

The permanent departure as applied for in this application can have no negative impact on the traffic circulation in the adjacent streets.

5.9 Provision of services

Existing municipal services are available to the application property. Should any upgrade or extension of services be required because of this application, this will be at cost of the developer and to the satisfaction of the municipality. The proposal will thus not result in infrastructure costs to any external parties. The proposal will thus not place any burden on municipal budget for the provision services infrastructure.

5.10 Firefighting

The firefighting requirements stipulated in the fire-regulations will not be negatively impacted upon as the application property will still be fully accessible for fire-fighting purposes.

6. CONCLUSION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the parking requirements stipulated in the table entitled “Minimum off-street parking requirements” in Section 42(2) of the George Integrated Zoning Scheme 2023, from 4 parking bays per 100m² to 3 parking bays per 100m² (PT1) to accommodate the proposed coffee shop on Erf 1748 George.

As indicated in this report the proposed application for permanent departure in respect of the application erf is compatible with all existing planning documents, spatial plans, legislation and policy documents applicable to the applications.

The proposal will not have a negative impact on the environment, development, public facilities, traffic circulation or Municipal services in the surrounding area.

The application can therefore be considered desirable and is submitted for consideration in terms of the relevant stipulations of the Land Use Planning By-Law for the George Municipality, 2023.

ANNEXURE "A"- PROPOSED SITE PLAN AND BUILDING PLAN

Municipal Approval Stamp

SEWER NOTES:

SEWERAGE LAY-OUT TO COMPLY WITH SANS 10400 PART P. GENERAL:

CE. CLEANING EYE. GLAZED EARTHEN WARE PIPE WITH CAST IRON COVER. ENCASED IN 150mm. CONCRETE SURROUND.

IE. INSPECTION EYE. STANDARD PIPE WITH GLAZED EARTHEN WARE COVER, SEALED WITH BITUMEN.

WASTE PIPES. SABS APPROVED GALVANISED MILD STEEL WITH Ø AS INDICATED.

SOIL VENT. VALVE. VACUUM RELIEF FUNCTION. NOMINAL SIZE 110mm. IN COMPLIANCE WITH SABS CODE 1532-1991.

NOTE:
ALL WORK TO BE DONE IN ACCORDANCE WITH LOCAL AUTHORITY'S SPECIFICATIONS.

REFILLING TRENCHES. REFILL WITH CLEAN DRY SOIL & RAM DOWN THOROUGHLY, LEVEL WITH EXISTING LEVEL.

CONCRETE TILE IE COVER. 450x450 LOOSE CONCRETE TILES OVER IE'S PASSING BENEATH CONCRETE APRON. TILES MUST BE MARKED DISTINCTLY & MUST BE REMOVABLE FOR INSPECTION PURPOSES.

CONCRETE CASINGS. ALL VITRIFIED CLAY PIPES UNDER WALLS, FOUNDATIONS & PAVING MUST BE ENCASED IN 150mm - 200mm. 6.3:1 CONCRETE.

COUPLINGS. VITRIFIED CLAY PIPES - SABS APPROVED. VITRO-HEPSLEVE POLYPROPYLENE COUPLINGS.

DRAINAGE TEST. A FINAL DRAINAGE TEST WILL BE EXECUTED TO THE APPROVAL OF THE OWNER & ARCH PROFESSIONAL.

All drainage pipes closer than 900mm from building or strip foundations to be encased in 150mm-200mm concrete.

Strip foundations over drains to be reinforced.

All waste fittings fitted with reseat traps.

No bends or junctions under building.

All waste pipes to be min 50mm.

All hwb's, sinks, troughs, to be fitted with S or P traps.

110mm dia. U.P.V.C. SEWER PIPE

50mm dia. U.P.V.C. WASTE WATER PIPE

Additional Notes:

1. All sewer joints to be sealed as per manufacturers specifications.

2. Sewer to be tested and certified by a registered plumber.

3. All waste and sewer pipes to be laid to a min 1:60 gradient and to start at min 450mm below ground level at any point.

Note:

1. INSTALL MAIN SERVICES IN 750MM DEEP TRENCH(ES) FOR DISTANCES AS INDICATED.

TRENCH BASE TO BE WELL COMPACTED, INSTALL 50MM THICK BED OF SAND. BACK FILL TRENCH IN COMPACTED LAYERS NOT EXCEEDING 150MM IN DEPTH.

2. TELCOM:

INSTALL 50MM DIA. U.P.V.C. SLEEVE INCLUDING DRAW WIRE FOR USE BY TELCOM. INSTALL CAST IRON DRAW BOXES AT EACH END OF SLEEVE AND AT MAX. 100M INTERVALS ALONG LENGTH OF SLEEVE.

3. ELECTRICAL:

INSTALL 25MM 4 CORE CABLE INSTALLED WITH 2 PAIRS OF PARALLEL 25MM WIRE EACH FOR LIVE & NEUTRAL CONNECTIONS. INSTALL SEPERATE 25MM EARTH WIRE.

4. WATER:

INSTALL 32MM DIA. CLASS 10 H.D.P.E. WATER SUPPLY PIPE. INSTALL ISOLATER VALVE IN CAST IRON BOX IN POSITION TO BE INDICATED ON SITE NEXT TO HOUSE. INSTALL PRESSURE RELIEF VALVE AT EACH MAIN CONNECTION TO HOUSE.

5. GENERAL: BOUNDARY WALL MUST BE COMPLETED FIRST, BEFORE STARTING CONSTRUCTION ON MAIN BUILDING.

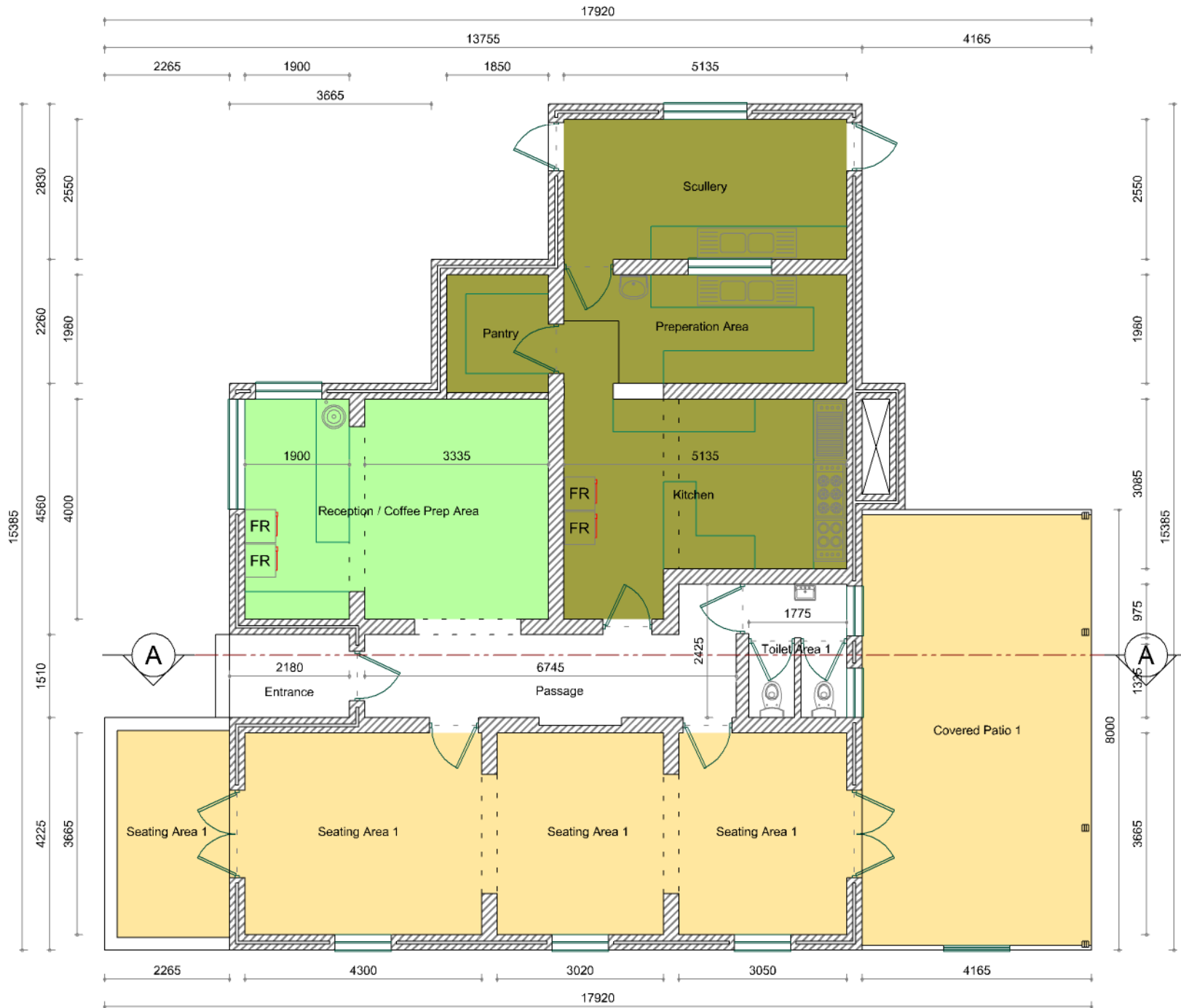
Please Note:

All Ducts to have a cavity of 250mm x 300mm, for easy accessibility, in which pipes will be concealed.

All trenches, and building works must be done in such a manner so that there will be minimum damage to current vegetation.

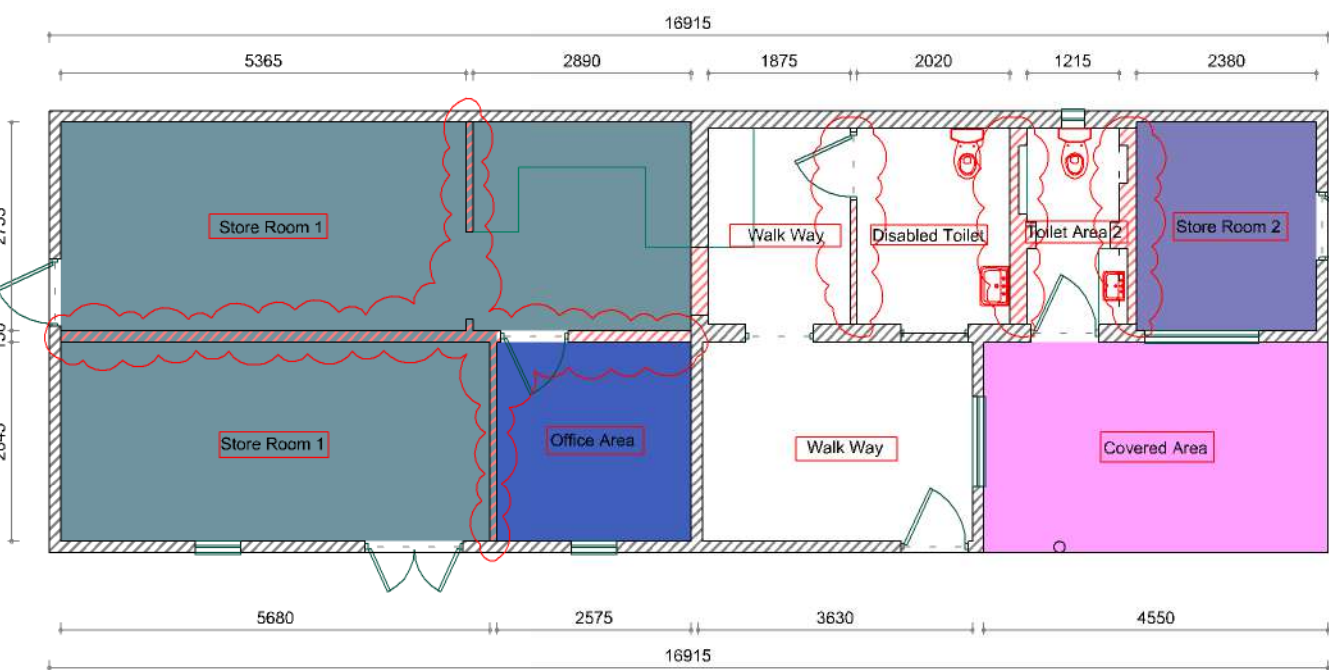
Area Schedule Building 1	
Entrance	3.29 m²
Passage	11.60 m²
Scullery	13.59 m²
Preparation Area	10.42 m²
Kitchen	17.39 m²
Pantry	4.42 m²
Toilet Area 1	4.51 m²
Seating Area 1	48.28 m²
Reception / Coffee	22.32 m²
Prep Area	33.32 m²
Covered Patio 1	169.55 m²
Total Area	

Information Plan SCALE 1:100



Dimension Plan SCALE 1:100

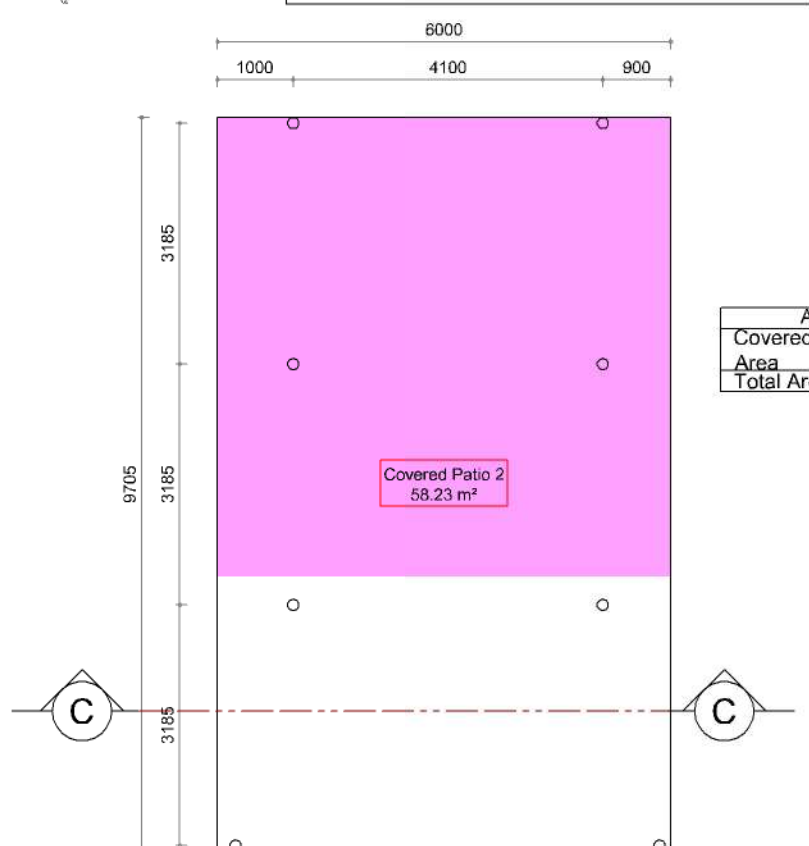
Moore Lane



Building 2

Area Schedule Building 2	
Store Room 1	22.98 m²
Office Area	6.94 m²
Washing Area	5.07 m²
Staff Toilet	5.32 m²
Kitchen Area	9.94 m²
Covered Area	12.72 m²
Toilet Area 2	3.56 m²
Store Room 2	6.69 m²
Staff Area	15.22 m²
Total Area	88.44 m²

Covered Seating Area



Area Schedule Pergola	
Covered Seating Area	58.23 m²
Total Area	58.23 m²

PLEASE NOTE
All is Existing, Plumbing Included

ERF 13697
ERF Boundary 44.867m

Cathedral Str

Side Walk

ERF Boundary 14.168m

ERF Boundary 6.678m

Side Walk

Erf 1748
Area: 844.00 m²

ERF Boundary 40.144m
Side Walk

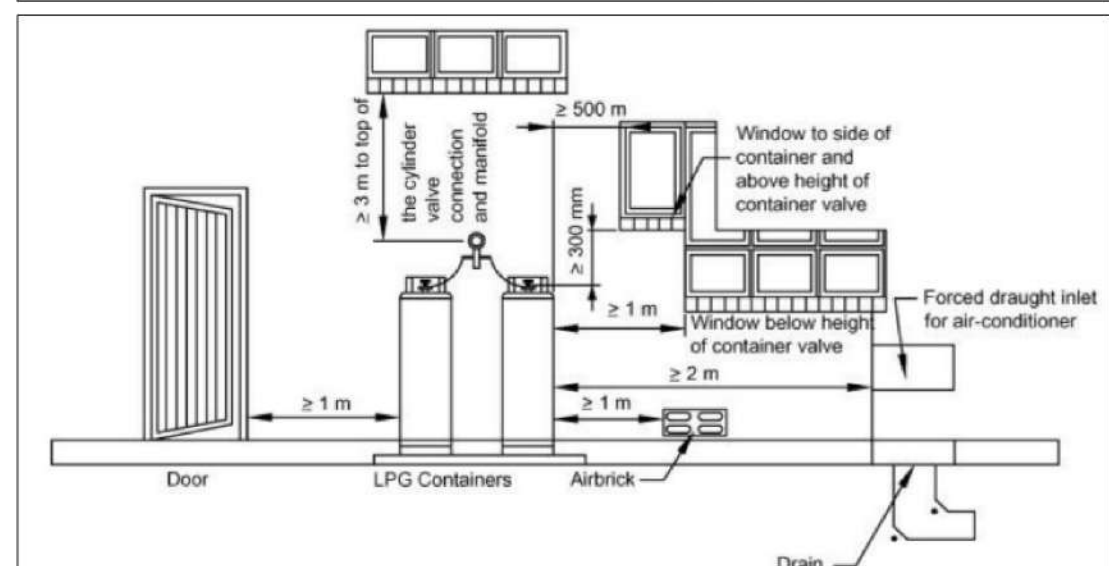
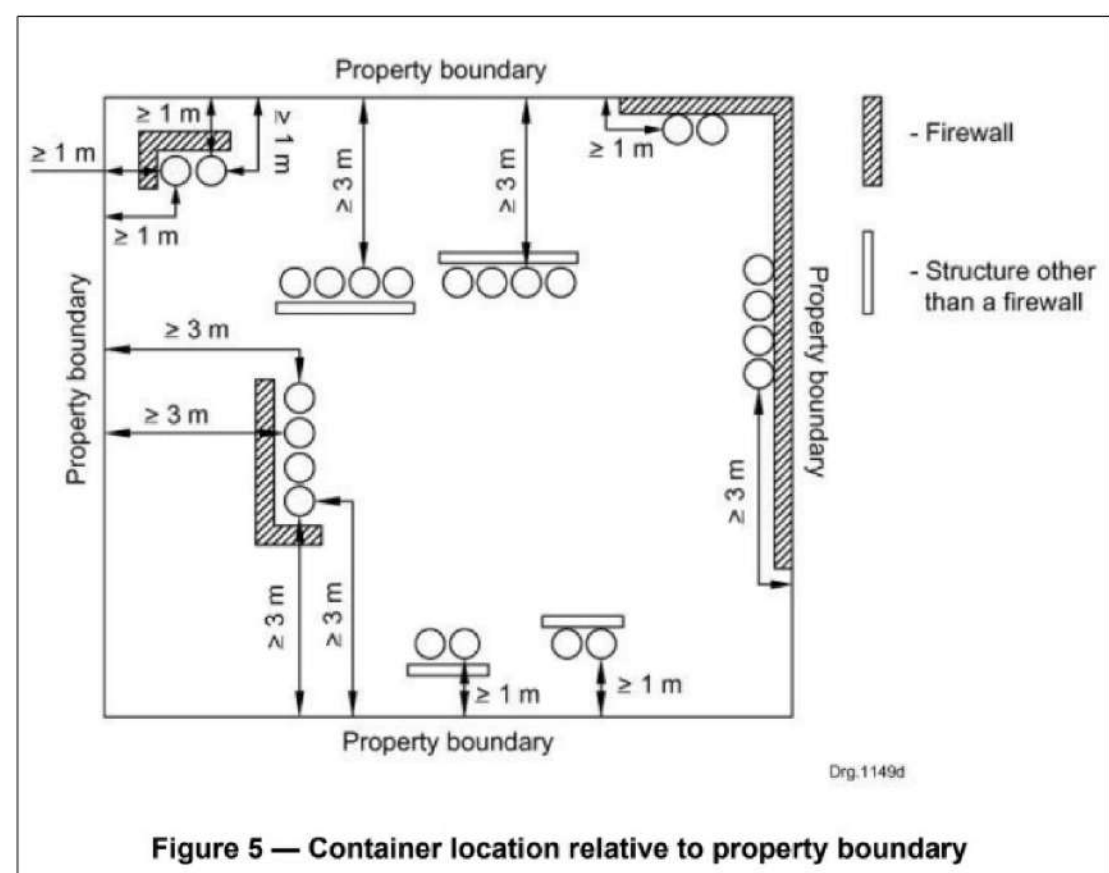
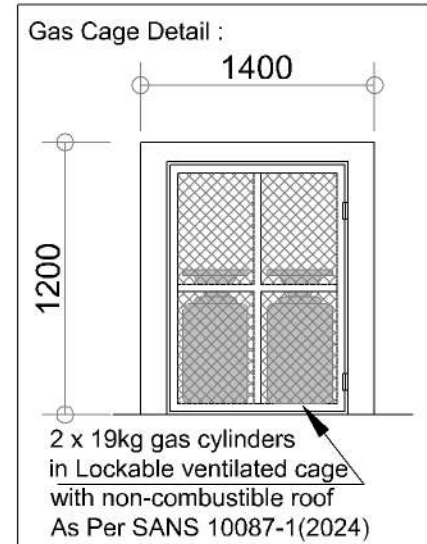


Project Description:
Updating of Building Plans on Erf 1745
(As-Built Internal Walls of Outbuilding"Building 2") George
for Bayleaf Poperities (PTY) LTD

Drawing Nr: H25 - 53
DSBC - 01 - 03
11/02/2025
Drawing :
Site, Dimension and Information Plan

NOTES:
1. All information on the plan must be checked and any discrepancies must be brought to the arch professional's attention, before any building work commences.
2. All levels and dimensions must be checked on site.
3. Drawings must not be scaled.

HOA Approval Stamp if Applicable :



Area Covered:	
Building 1 :	196.77 m²
Building 2 :	98.95 m²
Covered Patio 2 :	58.23 m²
Total Area :	353.95 m²
Total Stand Area:	837.00 m²
F.A.R: 353.95 / 837.00 :	0.4228
Site coverage percentage :	42.28 %
GLA :	247.63 m²
Parking Required 4 / 100 GLA :	247.63/100x4 = 9.90
Parkings Provided :	9
Occupancy :	A1
Zoning :	BZ1

Applicable Party Approval:

Owner/authorized Signature: _____ Date: _____

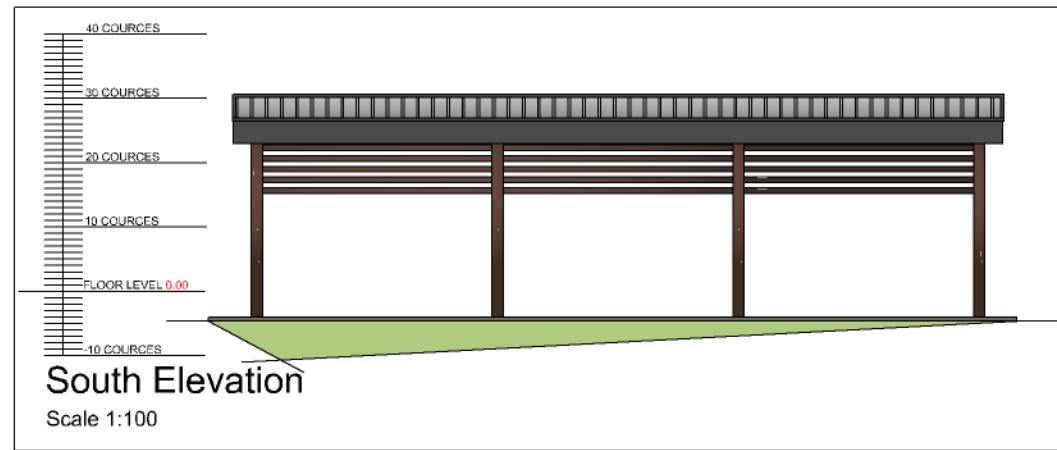
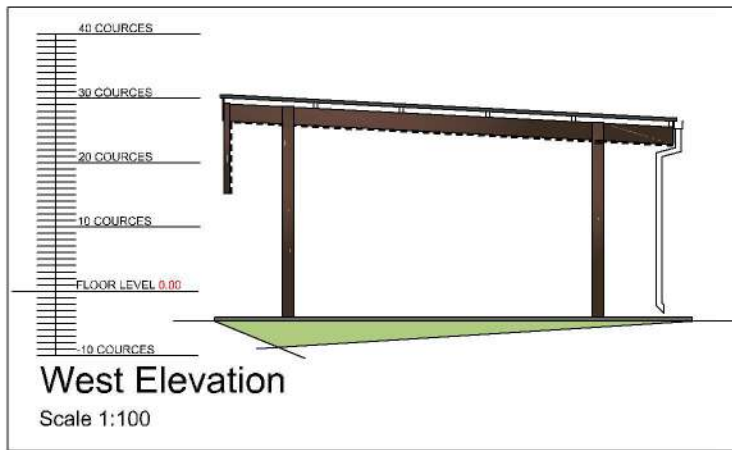
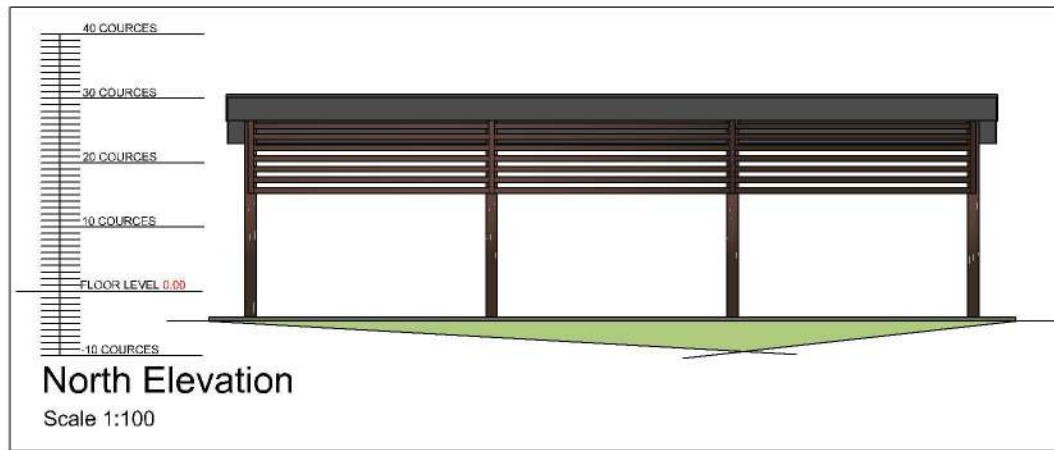
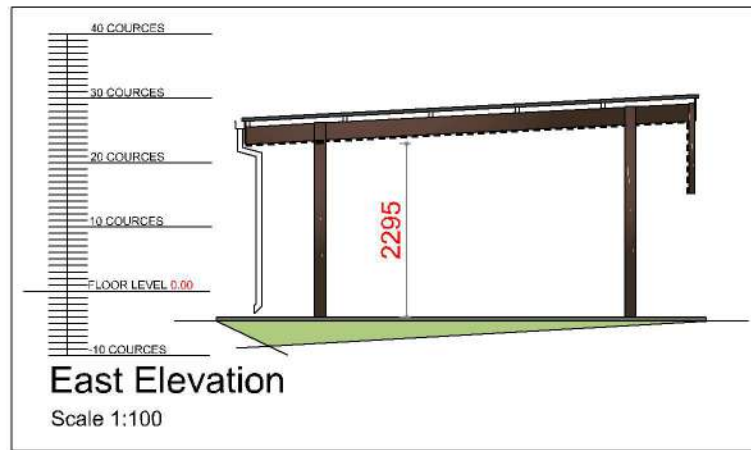
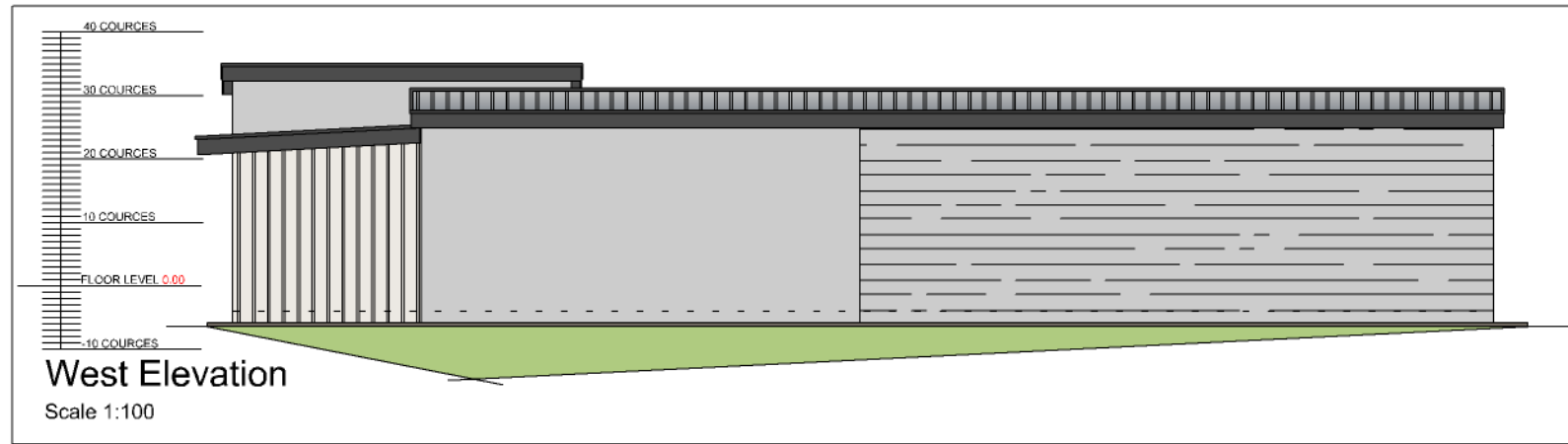
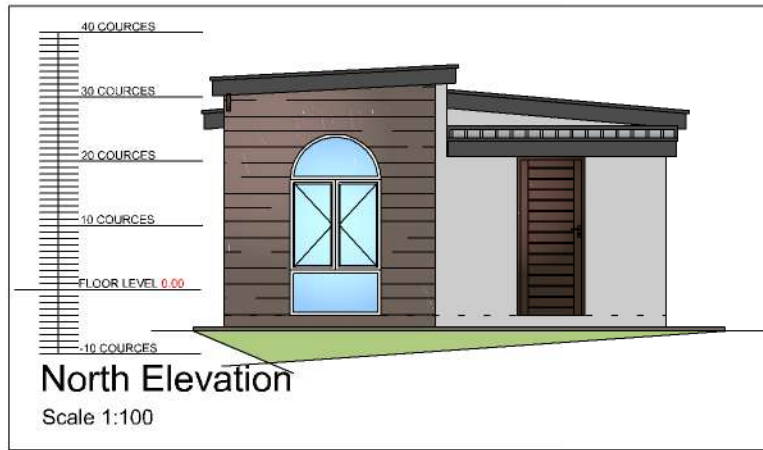
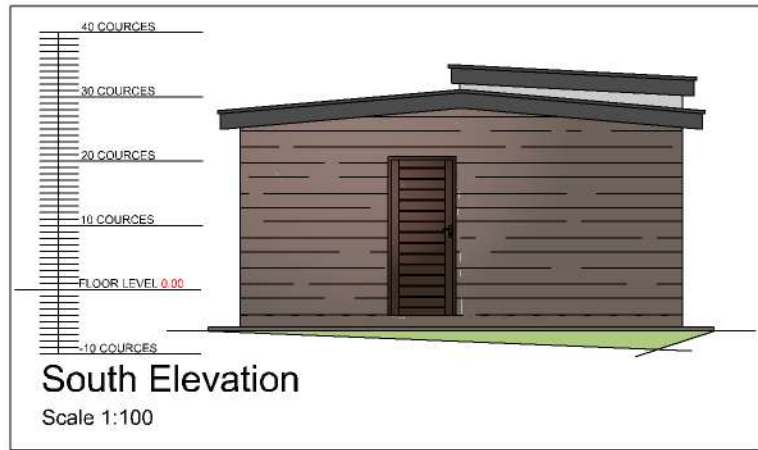
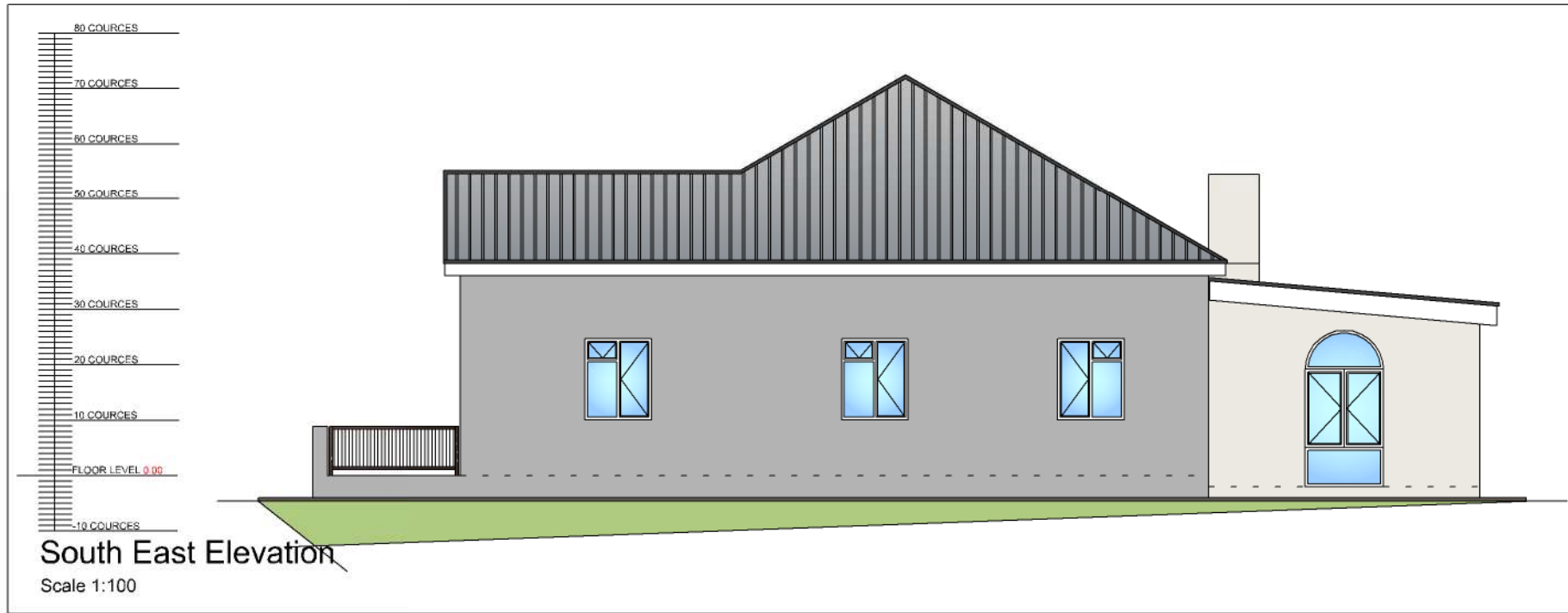
T Schoon Signature: _____ Date: _____

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ACTS OF PARLIAMENT
All Contractors shall ensure that, before any work is put in hand, they comply with all the necessary Acts of Parliament of the Republic of South Africa.

Municipal Approval Stamp

Elevations

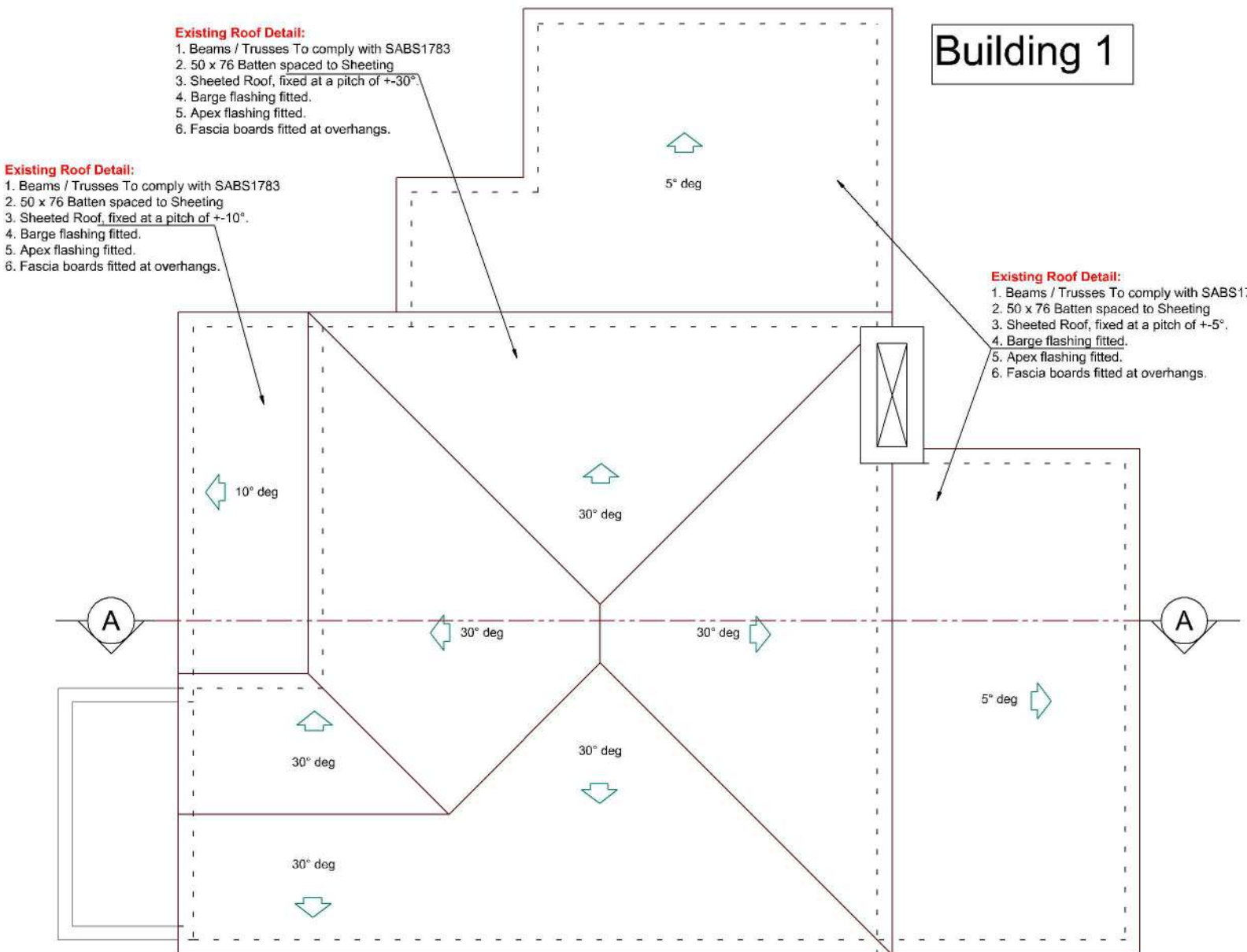
SCALE 1:100



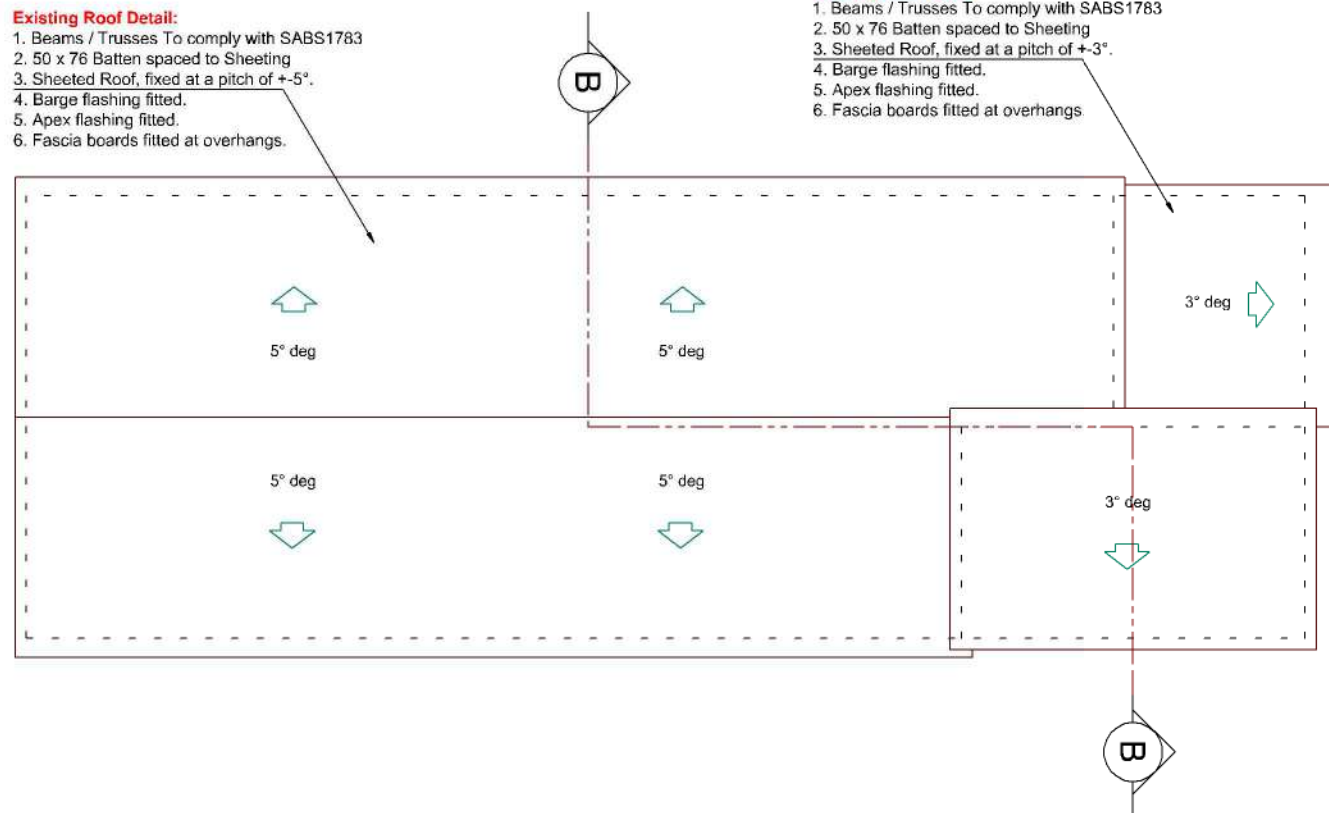
Roof Plan

SCALE 1:100

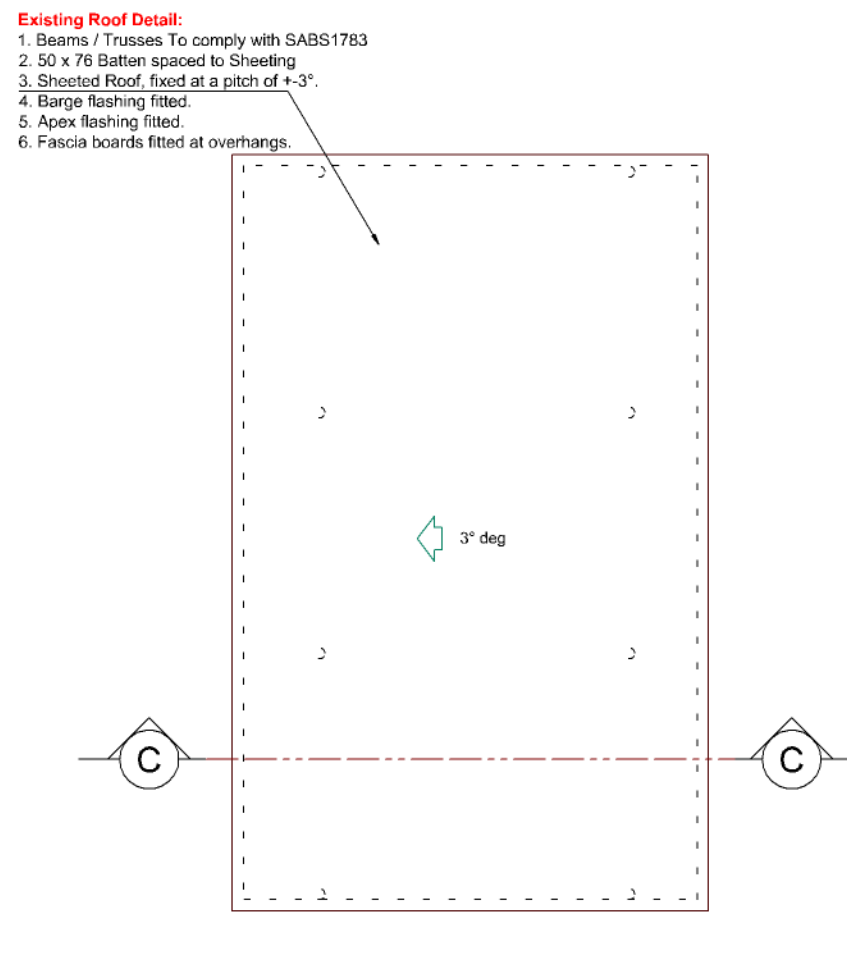
Building 1



Building 2



Covered Patio 2



Project Description:
Updating of Building Plans on Erf 1745
(As-Built Internal Walls of Outbuilding"Building 2") George
for Bayleaf Poperities (PTY) LTD

Drawing Nr: H25 - 53
DSBC - 02 - 03
11/02/2025
Drawing :
Elevations and Roof Plan

NOTES:

- 1.All information on the plan must be checked and any discrepancies must be brought to the arch professional's attention, before any building work commences.
- 2.All levels and dimensions must be checked on site.
- 3.Drawings must not be scaled.

HOA Approval Stamp if Applicable :

Area Covered:	
Building 1 :	196.77 m²
Building 2 :	98.95 m²
Covered Patio 2 :	58.23 m²
Total Area :	353.95 m²
Total Stand Area:	837.00 m²
F.A.R: 353.95 / 837.00 :	0.4228
Covered percentage :	42.28 %
GLA :	247.63 m²
Parking Required 4 / 100 GLA :	247.63/100x4 = 9.90
Parkings Provided :	9
Occupancy :	A1
Zoning :	BZ1

Applicable Party Approval:

Owner/authorized Signature: _____ **Date:** _____

T Schoon Signature: _____ **Date:** _____

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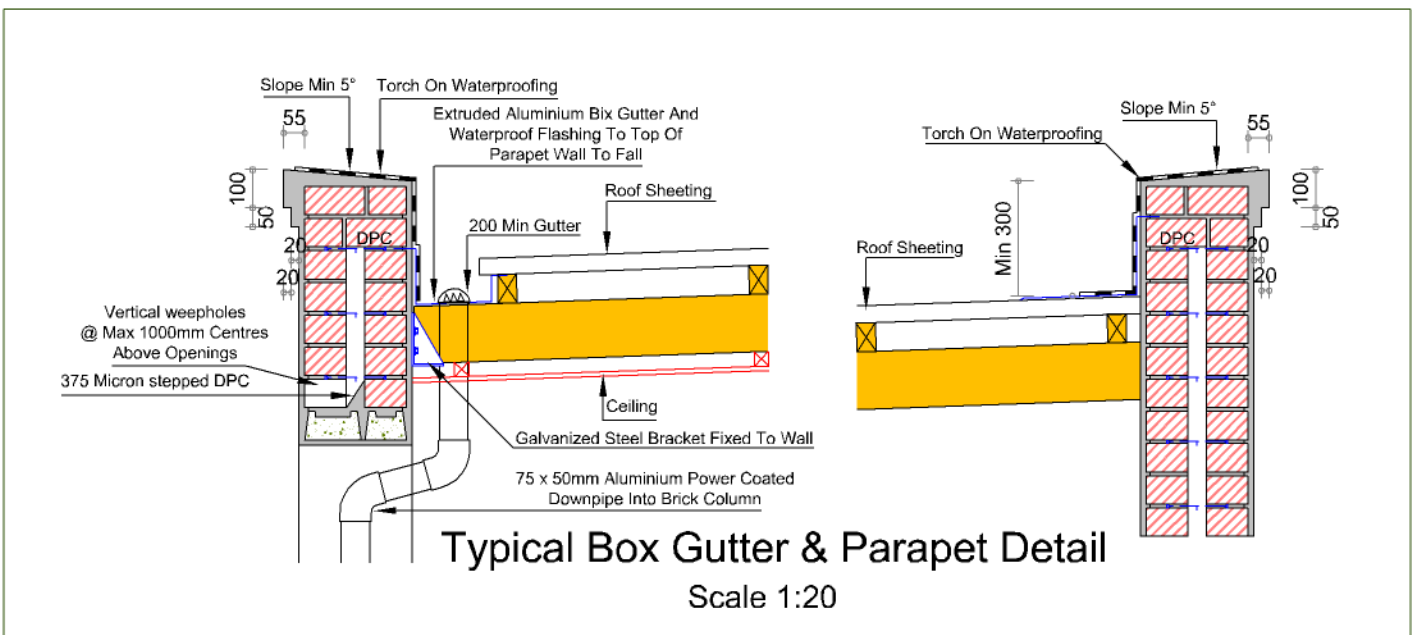
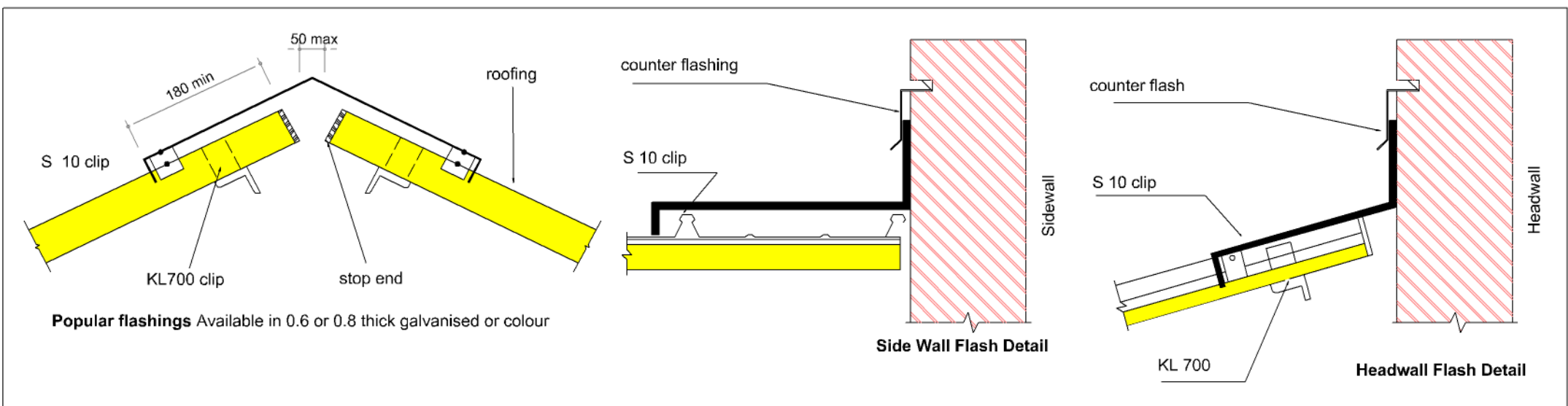
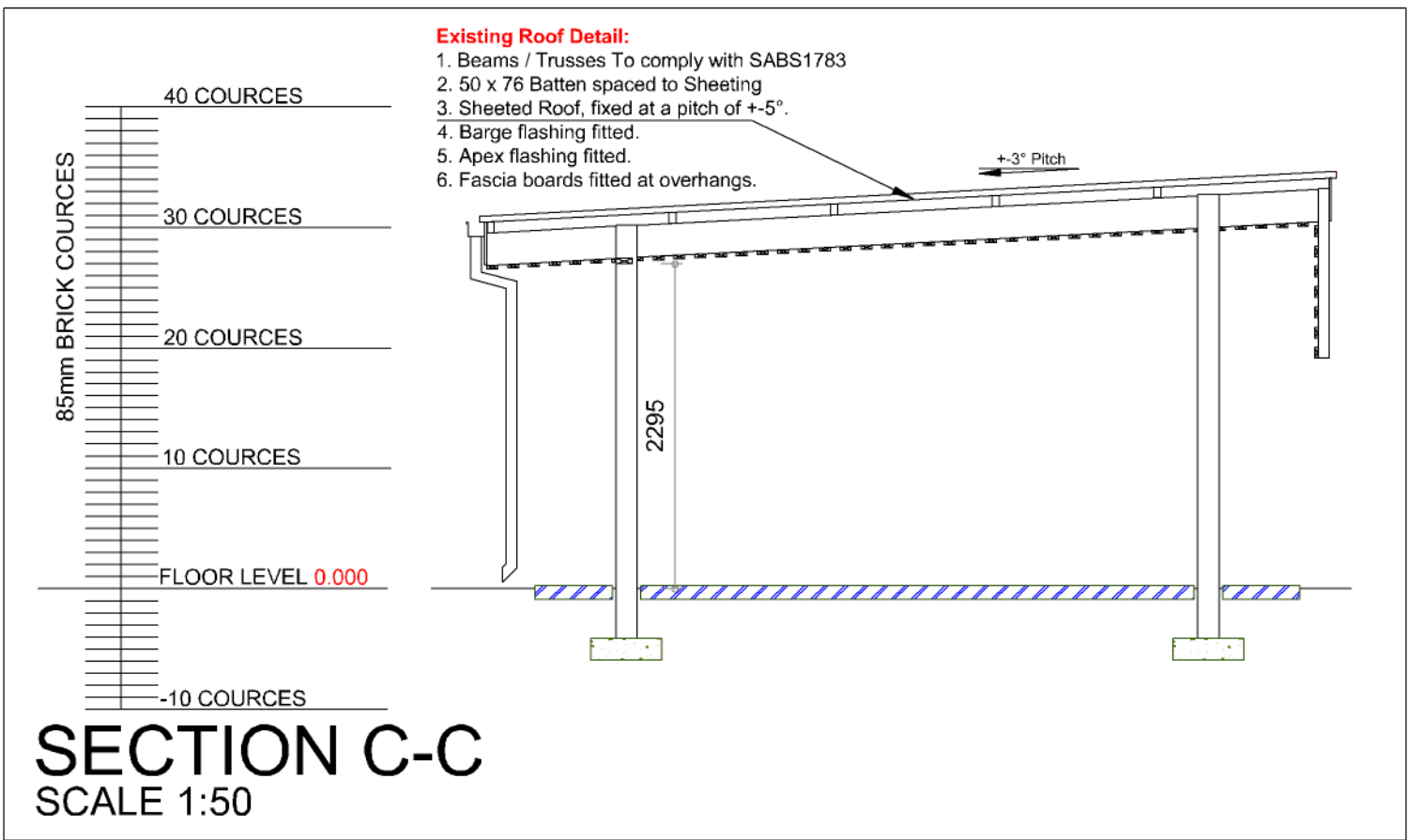
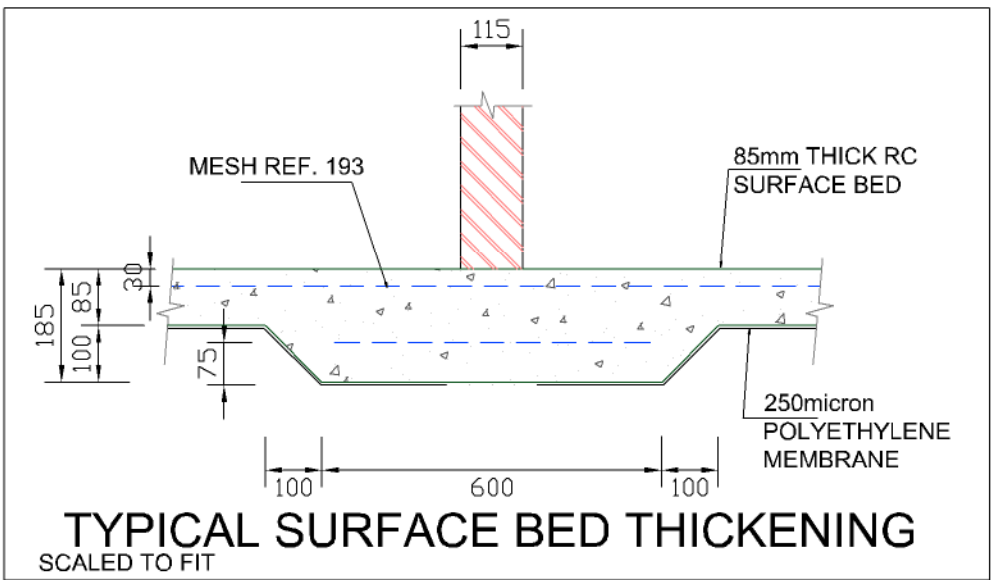
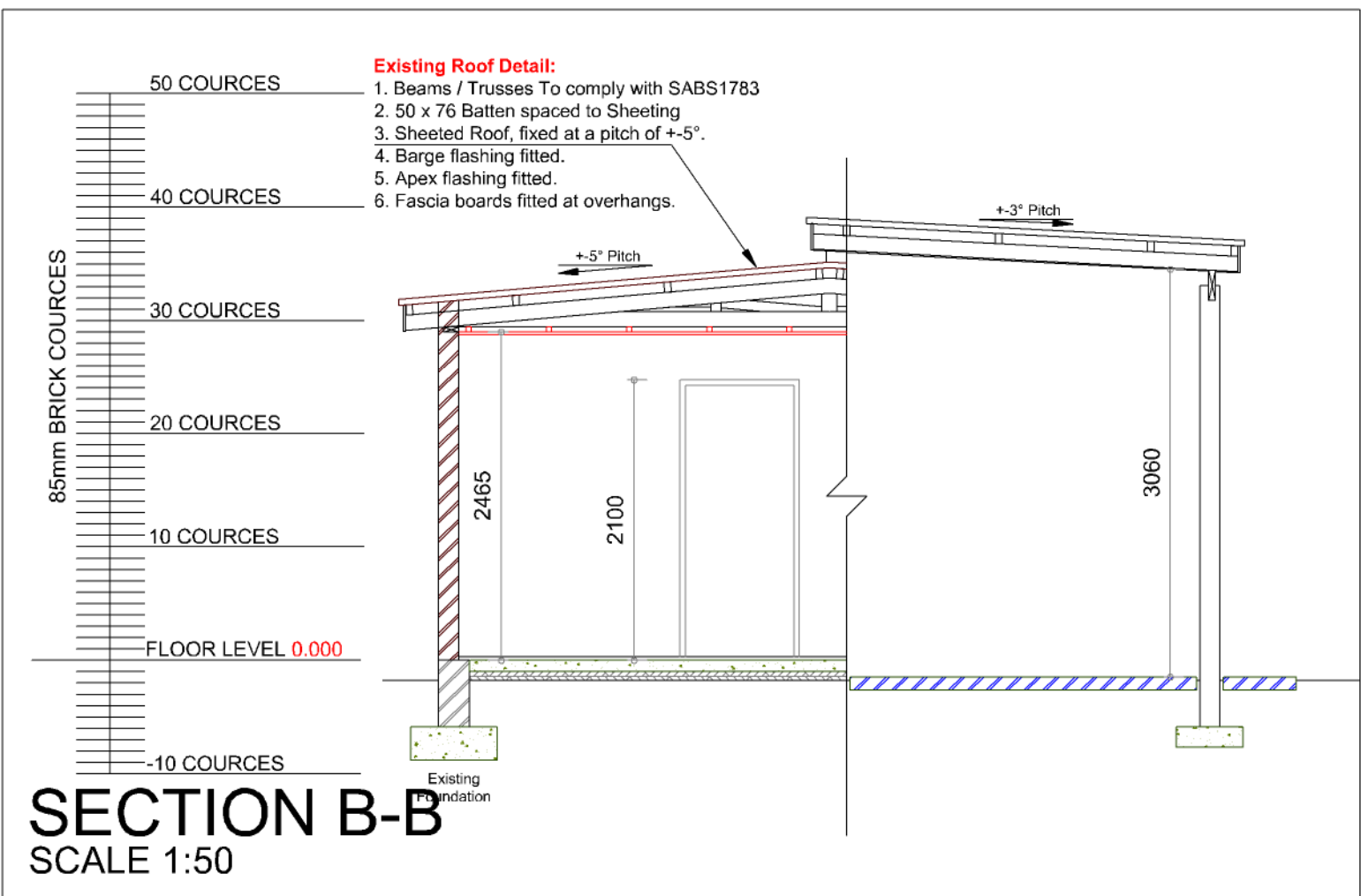
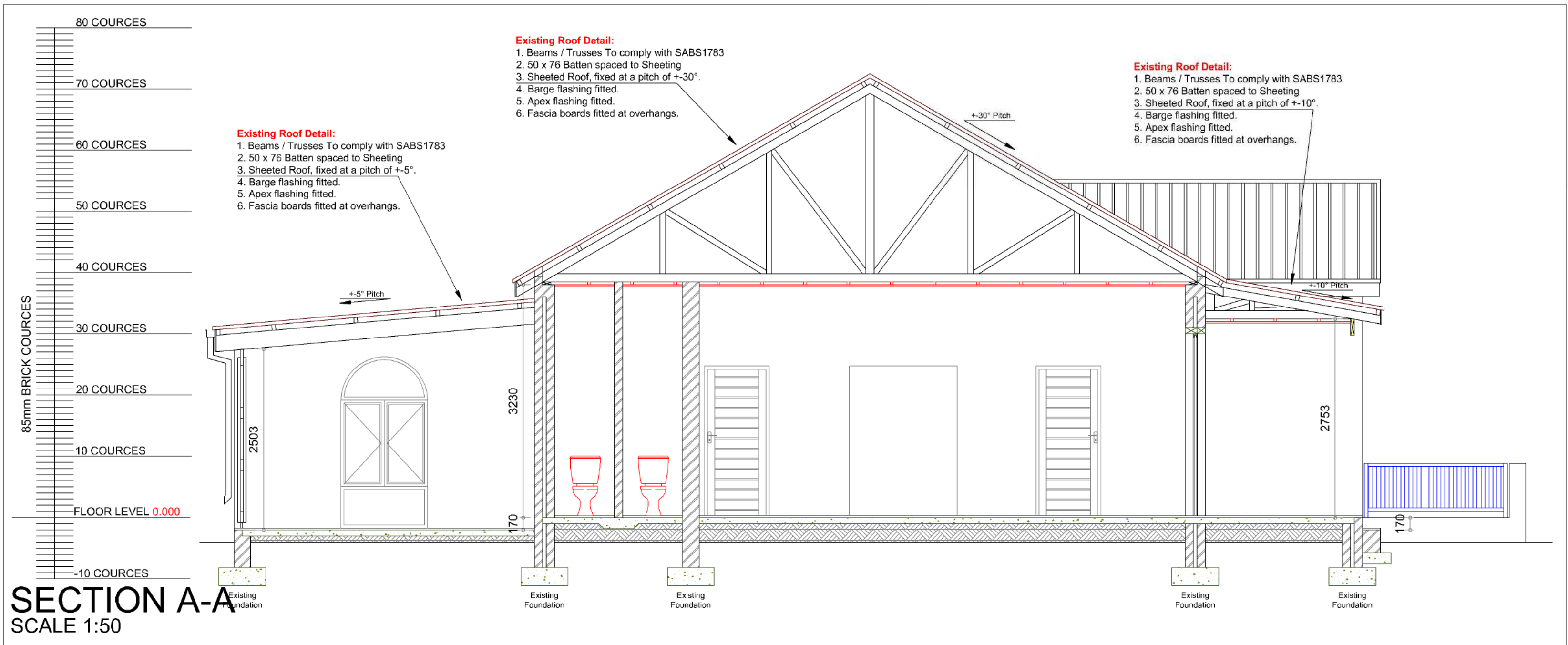
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ACTS OF PARLIAMENT

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Municipal Approval Stamp



Project Description:
Updating of Building Plans on Erf 1745
(As-Built Internal Walls of Outbuilding"Building 2") George
for Bayleaf Poperties (PTY) LTD

Drawing Nr: H25 - 53
DSBC - 03 - 03
11/02/2025
Drawing :
Sections

NOTES:

- 1.All information on the plan must be checked and any discrepancies must be brought to the arch professional's attention, before any building work commences.
- 2.All levels and dimensions must be checked on site.
- 3.Drawings must not be scaled.

HOA Approval Stamp if Applicable :

Area Covered:	
Building 1 :	196.77 m²
Building 2 :	98.95 m²
Covered Patio 2 :	58.23 m²
Total Area :	353.95 m²
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F.A.R: 353.95 / 837.00 :	0.4228
Site coverage percentage :	42.28 %
GLA :	247.63 m²
Parking Required 4 / 100 GLA :	247.63/100x4 - 9.90
Parkings Provided :	9
Occupancy :	A1
Zoning :	BZ1

Applicable Party Approval:

Owner/authorized Signature: _____ **Date:** _____

T Schoon Signature: _____ **Date:** _____

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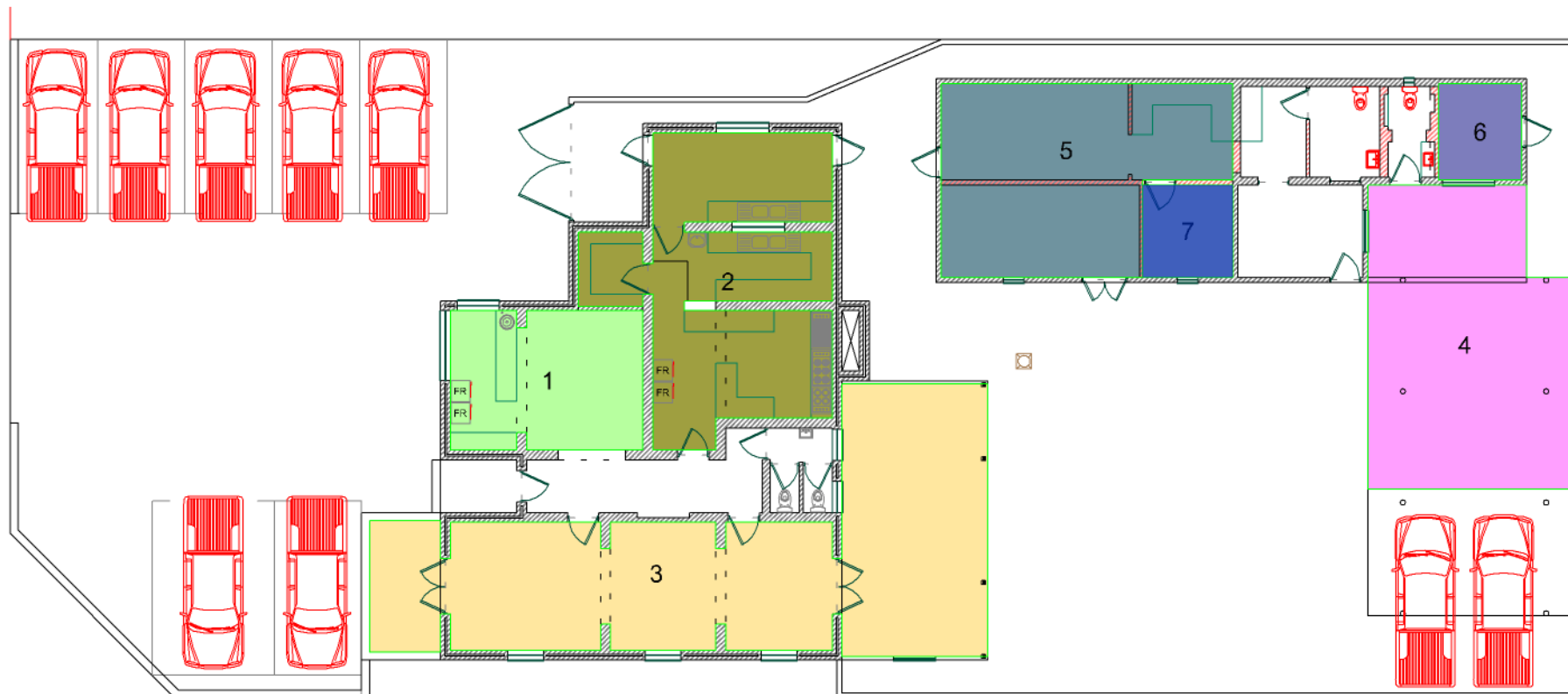
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ACTS OF PARLIAMENT

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GLA Schedule	
1	21.78 m ²
2	45.47 m ²
3	80.34 m ²
4	47.54 m ²
5	39.12 m ²
6	6.56 m ²
7	6.81 m ²
Total Area	247.63 m ²

ANNEXURE "B" - APPLICATION FORM



Application Form for Application(s) Submitted in terms of the Land Use Planning By-Law for George Municipality

NOTE: Please complete this form by using: Font: Calibri; Size: 11

PART A: APPLICANT DETAILS

First name(s)	Johannes George		
Surname	Vrolijk		
SACPLAN Reg No. (if applicable)	A/1386/2010		
Company name (if applicable)	Jan Vrolijk Town Planner / Stadsbeplanner		
Postal Address	P.O. Box 710		
	George	Postal Code	6530
Email	janvrolijk@jvtownplanner.co.za		
Tel	044 873 3011	Fax	086 510 4383
		Cell	082 464 7871

PART B: REGISTERED OWNER(S) DETAILS (if different from applicant)

Registered owner	Bayleaf Properties (Pty) Ltd Registration number 2020/857941/07		
Address	24 Cathedral Street		
	George	Postal code	6529
E-mail	daniel.joburg@gmail.com		
Tel	N/a	Fax	N/a
		Cell	0840154886

PART C: PROPERTY DETAILS (in accordance with Title Deed)

Property Description [Erf / Erven / Portion(s) and	Erf 1748 George
---	-----------------

Farm number(s), allotment area.]											
Physical Address	24 Cathedral Street, George										
GPS Coordinates					Town/City		George				
Current Zoning	Business Zone I			Extent		837m²		Are there existing buildings?		Y	N
Current Land Use	Business purposes (coffee shop)										
Title Deed number & date	T13190/2021										
Any restrictive conditions prohibiting application?	Y	N	If Yes, list condition number(s).								
Are the restrictive conditions in favour of a third party(ies)?	Y	N	If Yes, list the party(ies).								
Is the property encumbered by a bond?	Y	N	If Yes, list Bondholder(s)?								
Has the Municipality already decided on the application(s)?	Y	N	If yes, list reference number(s)?								
Any existing unauthorized buildings and/or land use on the subject property(ies)?					Y	N	If yes, is this application to legalize the building / land use?			Y	N
Are there any pending court case / order relating to the subject property(ies)?					Y	N	Are there any land claim(s) registered on the subject property(ies)?			Y	N
PART D: PRE-APPLICATION CONSULTATION											
Has there been any pre-application consultation?			Y	N	If Yes, please complete the information below and attach the minutes.						
Official's name	N/a			Reference number		N/a		Date of consultation		N/a	

PART E: LAND USE APPLICATIONS IN TERMS OF SECTION 15 OF THE LAND USE PLANNING BY-LAW FOR GEORGE MUNICIPALITY & APPLICATION FEES PAYABLE

***Application fees that are paid to the Municipality are non-refundable and proof of payment of the application fees must accompany the application.**

BANKING DETAILS

Name: **George Municipality**
 Bank: **First National Bank (FNB)**
 Branch no.: **210554**
 Account no.: **62869623150**
 Type: **Public Sector Cheque Account**
 Swift Code: **FIRNZAJJ**
 VAT Registration Nr: **4630193664**
 E-MAIL: **msbrits@george.gov.za**
 *Payment reference: Erven ____, George/Wilderness/Hoekwil...

PART F: DETAILS OF PROPOSAL

Brief description of proposed development / intent of application:

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the parking requirements stipulated in the table entitled "Minimum off-street parking requirements" in Section 42(2) of the George Integrated Zoning Scheme 2023, from 4 parking bays per 100m² to 3 parking bays per 100m² (PT1) to accommodate the proposed coffee shop on Erf 1748 George.

PART G: ATTACHMENTS & SUPPORTING INFORMATION FOR LAND USE PLANNING APPLICATIONS

Please complete the following checklist and attach all the information relevant to the proposal. Failure to submit all information required will result in the application being deemed incomplete.

Is the following compulsory information attached?

Y	N	Completed application form		Y	N	Pre-application Checklist (where applicable)
Y	N	Power of Attorney / Owner's consent if applicant is not owner		Y	N	Bondholder's consent
Y	N	Motivation report / letter		Y	N	Proof of payment of fees
Y	N	Full copy of the Title Deed		Y	N	S.G. noting sheet extract / Erf diagram / General Plan
Y	N	Locality Plan		Y	N	Site layout plan
Minimum and additional requirements:						
Y	N	N/A	Conveyancer's Certificate	Y	N	N/A Land Use Plan / Zoning plan
Y	N	N/A	Proposed Subdivision Plan (including street names and numbers)	Y	N	N/A Phasing Plan

Y	N	N/A	Consolidation Plan	Y	N	N/A	Copy of original approval letter (if applicable)
Y	N	N/A	Site Development Plan	Y	N	N/A	Landscaping / Tree Plan
Y	N	N/A	Abutting owner's consent	Y	N	N/A	Home Owners' Association consent
Y	N	N/A	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) (strikethrough irrelevant)	Y	N	N/A	1:50 / 1:100 Flood line determination (plan / report)
Y	N	N/A	Services Report or indication of all municipal services / registered servitudes	Y	N	N/A	Required number of documentation copies
Y	N	N/A	Any additional documents or information required as listed in the pre-application consultation form / minutes	Y	N	N/A	Other (specify)

PART H: AUTHORISATION(S) IN TERMS OF OTHER LEGISLATION

Y	N	National Heritage Resources Act, 1999 (Act 25 of 1999)	Y	N/A	Specific Environmental Management Act(s) (SEMA) (e.g. Environmental Conservation Act, 1989 (Act 73 of 1989), National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004), National Environmental Integrated Coastal Management Act, 2008 (Act 24 of 2008), National Environmental Management: Waste Act, 2008 (Act 59 of 2008), National Water Act, 1998 (Act 36 of 1998) (strikethrough irrelevant)
Y	N/A	National Environmental Management Act, 1998 (Act 107 of 1998)	Y	N/A	Other (specify)
Y	N/A	Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)			
Y	N/A	Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)(SPLUMA)			
Y	N/A	Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations			
Y	N/A	Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA)			
Y	N	If required, has application for EIA / HIA / TIA / TIS / MHIA approval been made? If yes, attach documents / plans / proof of submission etc. N/A			
Y	N	If required, do you want to follow an integrated application procedure in terms of section 44(1) of the Land-Use Planning By-law for George Municipality?			

SECTION I: DECLARATION

I hereby wish to confirm the following:

1. That the information contained in this application form and accompanying documentation is complete and correct.
2. The Municipality has not already decided on the application.
3. I'm aware that it is an offense in terms of section 86(1)(d) to supply particulars, information or answers in an application, knowing it to be false, incorrect or misleading or not believing them to be correct.
4. I am properly authorized to make this application on behalf of the owner and (where applicable) copies of such full relevant Powers of Attorney/Consent are attached hereto.
5. I have been appointed to submit this application on behalf of the owner and it is accepted that correspondence from and notifications by the Municipality in terms of the by-law will be sent only to me as the authorised agent and the owner will regularly consult with the agent in this regard (where applicable).
6. That this submission includes all necessary land use planning applications required to enable the development proposed herein.
7. I confirm that the relevant title deed(s) have been read and that there are no restrictive title deed restrictions, which impact on this application, or alternatively an application for removal/amendment/suspension forms part of this submission.
8. I am aware of the status of the existing bulk services and infrastructure in the subject area and that I am liable for any possible development charges which may be payable as a result of the proposed development.
9. I acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.

Applicant's signature:



Date:

15 June 2026

Full name:

Johannes George Vrolijk

Professional capacity:

Professional Town Planner

SACPLAN Reg. Nr:

A/1386/2010

**ANNEXURE "C" - APPROVAL FROM HERITAGE WESTERN CAPE DATED 17
FEBRUARY 2026**

Our Ref: HM / GARDEN ROUTE / GEORGE / ERF 1748
Case No.: 27293CN0205 <https://sahris.org.za/node/388987>
Enquiries: Corne Alexander
E-mail: Corne.alexander@westerncape.gov.za
Tel: 021 829 3317



Applicant: Daniele Schiavi, thebayleafgeorge@gmail.com
Owner: Bayleaf Properties Pty Ltd

Section 51(1)c of the National Heritage Resources Act, 1999 (Act 25 of 1999) and Regulation 3(3)(a) of PN 298 (29 August 2003)

APPLICATION FOR A PERMIT IN TERMS OF SECTION 34 OF THE NATIONAL HERITAGE RESOURCES ACT (ACT 25 OF 1999): ERF 1748, 24 CATHEDRAL STREET, GEORGE

The matter above has reference.

The matter was tabled at the Heritage Officers Meeting (HOMs) held on 16 February 2026.

The plans as reviewed by the committee are as followed:

No: H25 - 53 (DSBC - 01 - 03), H25 - 53 (DSBC - 02 - 03), H25 - 53 (DSBC - 03 - 03)
Dated: 2 December 2025
Drawings prepared by: Tian Schoon from Blueprint Draughting

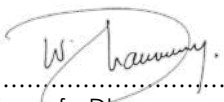
The National Heritage Resources Act (Act 25 of 1999) does not make provision for the condonation of illegal work (i.e., Work done without obtaining a permit in terms of the same Act PRIOR to starting the proposed work).

Undertaking work without a permit constitutes a criminal offence in terms of section 51(1)c of the same Act.

Please note that this matter has been recorded for future reference and should any further illegal work be undertaken, HWC will consider laying charges.

HWC requires no further actions in terms of the National Heritage Resources Act (Act 25 of 1999) and any further approval processes to be undertaken with local authority, or any other statutory body may proceed along with this letter.

Should you have any further queries, please contact the official above and quote the case number.


.....
Waseefa Dhansay
Assistant Director: Professional Services



www.westerncape.gov.za/cas

Street Address: Protea Assurance Building, Green Market Square, Cape Town, 8000 • **Postal Address:** P.O. Box 1665, Cape Town, 8000
• **Tel:** +27 (0)21 483 5959 • **E-mail:** ceoheritage@westerncape.gov.za

Straatadres: Protea Assuransie-gebou, Groentemarkplein, Kaapstad, 8000 • **Posadres:** Posbus 1665, Kaapstad, 8000
• **Tel:** +27 (0)21 483 5959 • **E-pos:** ceoheritage@westerncape.gov.za

Idilesi yendawo: kumgangatho 3, kwisakhiwo iprotea Assurance, Greenmarket Square, ekapa, 8000 • **Idilesi yeposi:** Inombolo yebhokisi yeposi 1665, eKapa, 8000 • **Iinombolo zomnxeba:** +27 (0)21 483 5959 • **Idilesi ye-imeyile:** ceoheritage@westerncape.gov.za

Municipal Approval Stamp

SEWER NOTES:

SEWERAGE LAY-OUT TO COMPLY WITH SANS 10400 PART P. GENERAL:

CE. CLEANING EYE. GLAZED EARTHEN WARE PIPE WITH CAST IRON COVER. ENCASED IN 150mm. CONCRETE SURROUND.

IE. INSPECTION EYE. STANDARD PIPE WITH GLAZED EARTHEN WARE COVER, SEALED WITH BITUMEN.

WASTE PIPES. SABS APPROVED GALVANISED MILD STEEL WITH Ø AS INDICATED.

SOIL VENT. VALVE. VACUUM RELIEF FUNCTION. NOMINAL SIZE 110mm. IN COMPLIANCE WITH SABS CODE 1532-1991.

NOTE:
ALL WORK TO BE DONE IN ACCORDANCE WITH LOCAL AUTHORITY'S SPECIFICATIONS.

REFILLING TRENCHES. REFILL WITH CLEAN DRY SOIL & RAM DOWN THOROUGHLY, LEVEL WITH EXISTING LEVEL.

CONCRETE TILE IE COVER. 450x450 LOOSE CONCRETE TILES OVER IE'S PASSING BENEATH CONCRETE APRON. TILES MUST BE MARKED DISTINCTLY & MUST BE REMOVABLE FOR INSPECTION PURPOSES.

CONCRETE CASINGS. ALL VITRIFIED CLAY PIPES UNDER WALLS, FOUNDATIONS & PAVING MUST BE ENCASED IN 150mm - 200mm. 6.3.1 CONCRETE.

COUPLINGS. VITRIFIED CLAY PIPES - SABS APPROVED. VITRO-HEPSLEVE POLYPROPYLENE COUPLINGS.

DRAINAGE TEST. A FINAL DRAINAGE TEST WILL BE EXECUTED TO THE APPROVAL OF THE OWNER & ARCH PROFESSIONAL.

All drainage pipes closer than 900mm from building or strip foundations to be encased in 150mm- 200mm concrete.

Strip foundations over drains to be reinforced.

All waste fittings fitted with reseat traps.

No bends or junctions under building.

All waste pipes to be min 50mm.

All hwb's, sinks, troughs, to be fitted with S or P traps.

110mm dia. U.P.V.C. SEWER PIPE
50mm dia. U.P.V.C. WASTE WATER PIPE

Additional Notes:
1. All sewer points to be sealed as per manufacturers specifications.
2. Sewer to be tested and certified by a registered plumber.
3. All waste and sewer pipes to be laid to a min 1:60 gradient and to start at min 450mm below ground level at any point.

Note:

1. INSTALL MAIN SERVICES IN 750MM DEEP TRENCH(ES) FOR DISTANCES AS INDICATED. TRENCH BASE TO BE WELL COMPACTED, INSTALL 50MM THICK BED OF SAND. BACK FILL TRENCH IN COMPACTED LAYERS NOT EXCEEDING 150MM IN DEPTH.

2. TELCOM:
INSTALL 50MM DIA. U.P.V.C. SLEEVE INCLUDING DRAW WIRE FOR USE BY TELCOM. INSTALL CAST IRON DRAW BOXES AT EACH END OF SLEEVE AND AT MAX. 100M INTERVALS ALONG LENGTH OF SLEEVE.

3. ELECTRICAL:
INSTALL 25MM 4 CORE CABLE INSTALLED WITH 2 PAIRS OF PARALLEL 25MM WIRE EACH FOR LIVE & NEUTRAL CONNECTIONS. INSTALL SEPERATE 25MM EARTH WIRE.

4. WATER:
INSTALL 32MM DIA. CLASS 10 H.D.P.E. WATER SUPPLY PIPE. INSTALL ISOLATER VALVE IN CAST IRON BOX IN POSITION TO BE INDICATED ON SITE NEXT TO HOUSE. INSTALL PRESSURE RELIEF VALVE AT EACH MAIN CONNECTION TO HOUSE.

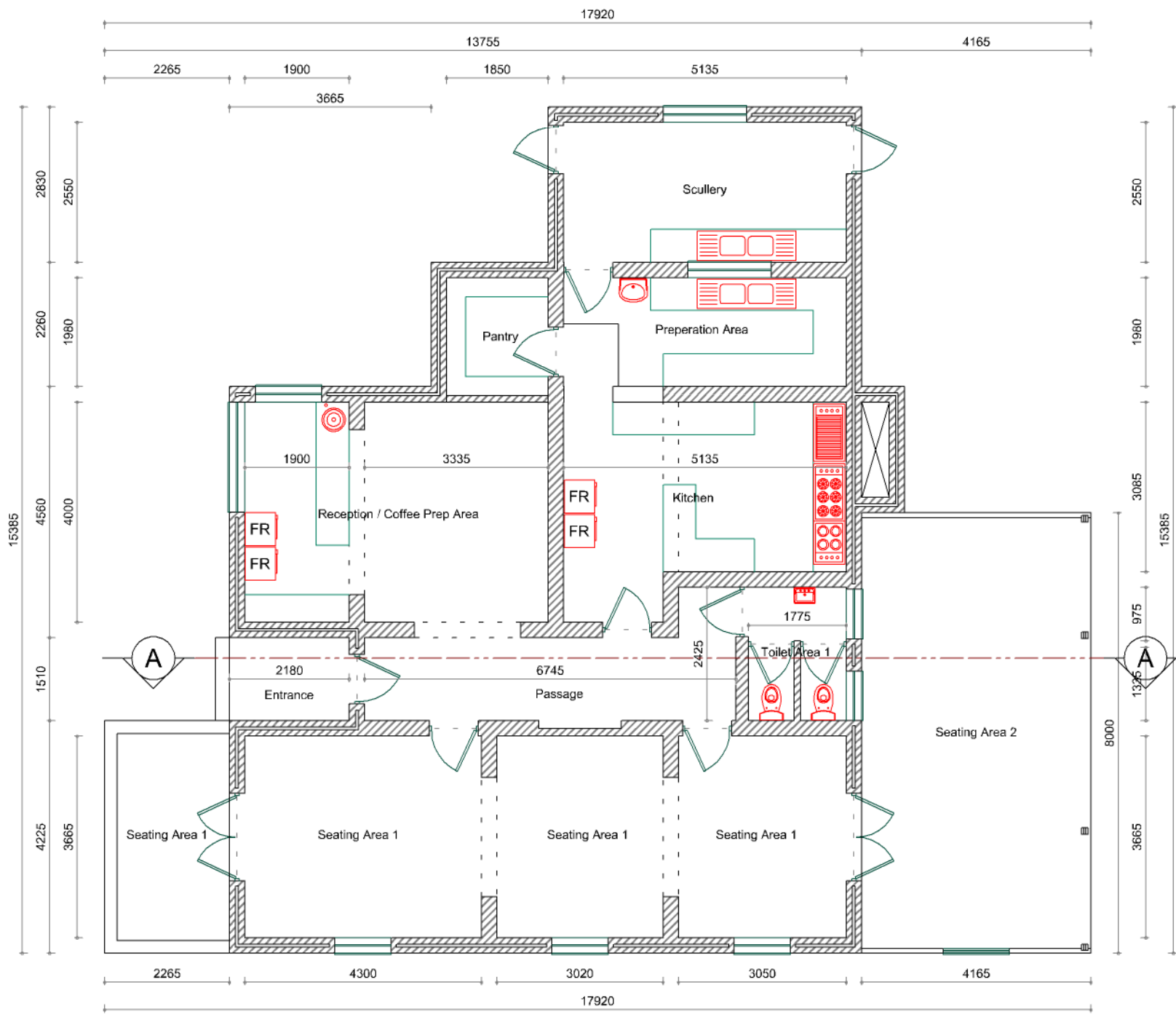
5. GENERAL: BOUNDARY WALL MUST BE COMPLETED FIRST, BEFORE STARTING CONSTRUCTION ON MAIN BUILDING.

Please Note:
All Ducts to have a cavity of 250mm x 300mm, for easy accessibility, in which pipes will be concealed.
All trenches, and building works must be done in such a manner so that there will be minimum damage to current vegetation.

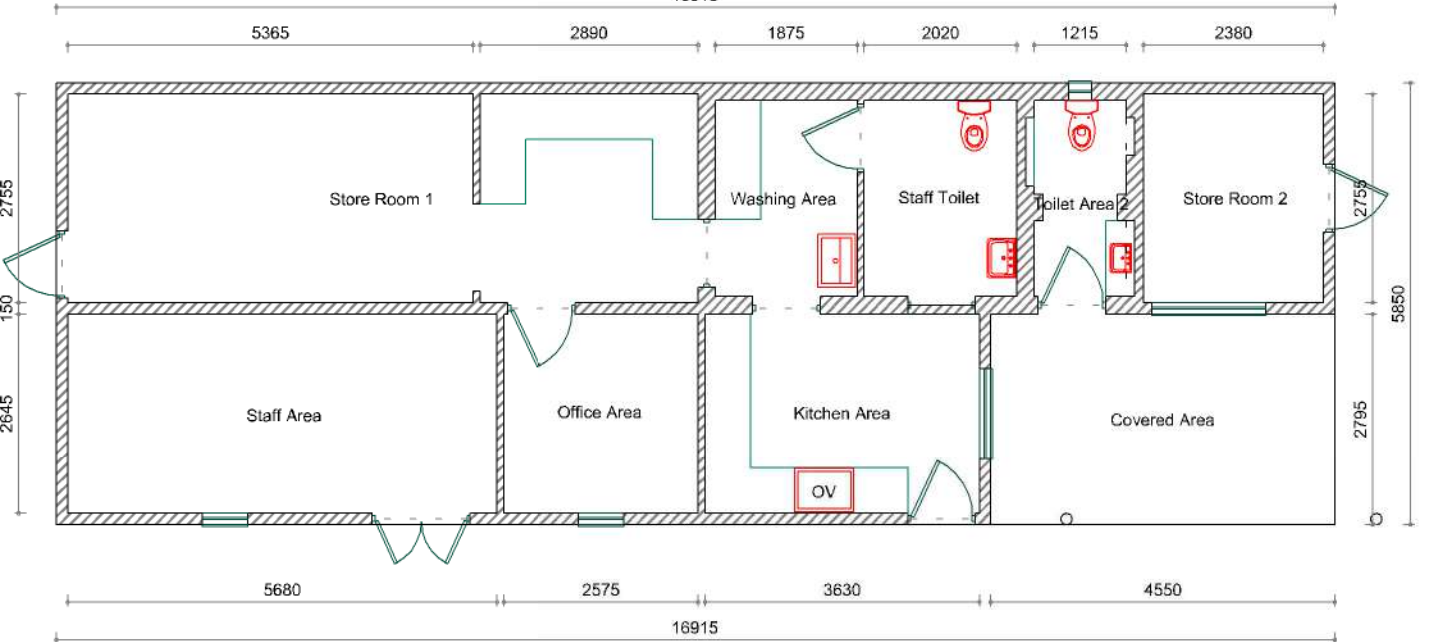
Area Schedule Building 1	
Entrance	3.29 m²
Passage	11.60 m²
Scullery	13.59 m²
Preparation Area	10.42 m²
Kitchen	17.39 m²
Pantry	4.42 m²
Toilet Area 1	4.51 m²
Seating Area 1	48.28 m²
Reception / Coffee	22.32 m²
Prep Area	33.32 m²
Seating Area 2	33.32 m²
Total Area	169.55 m²

Information Plan SCALE 1:100

Building 1



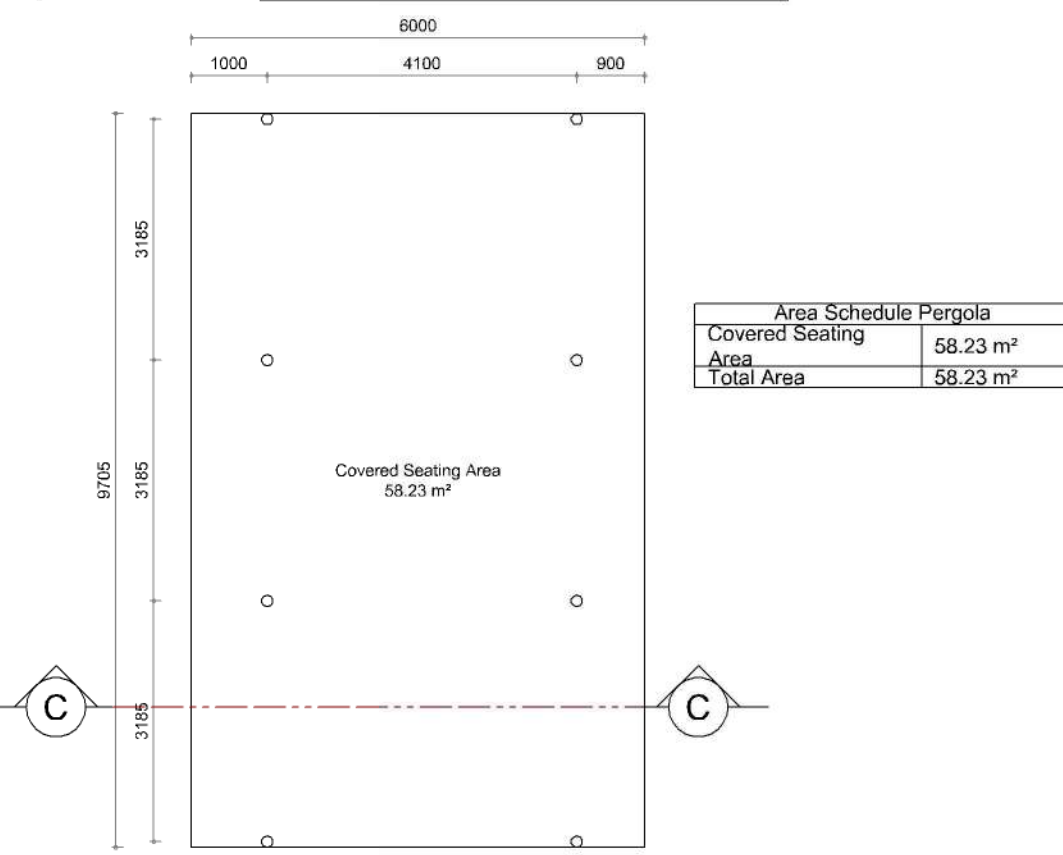
Dimension Plan SCALE 1:100



Building 2

Area Schedule Building 2	
Store Room 1	22.98 m²
Office Area	6.94 m²
Washing Area	5.07 m²
Staff Toilet	5.32 m²
Kitchen Area	9.94 m²
Covered Area	12.72 m²
Toilet Area 2	3.56 m²
Store Room 2	6.89 m²
Staff Area	15.22 m²
Total Area	88.44 m²

Covered Seating Area



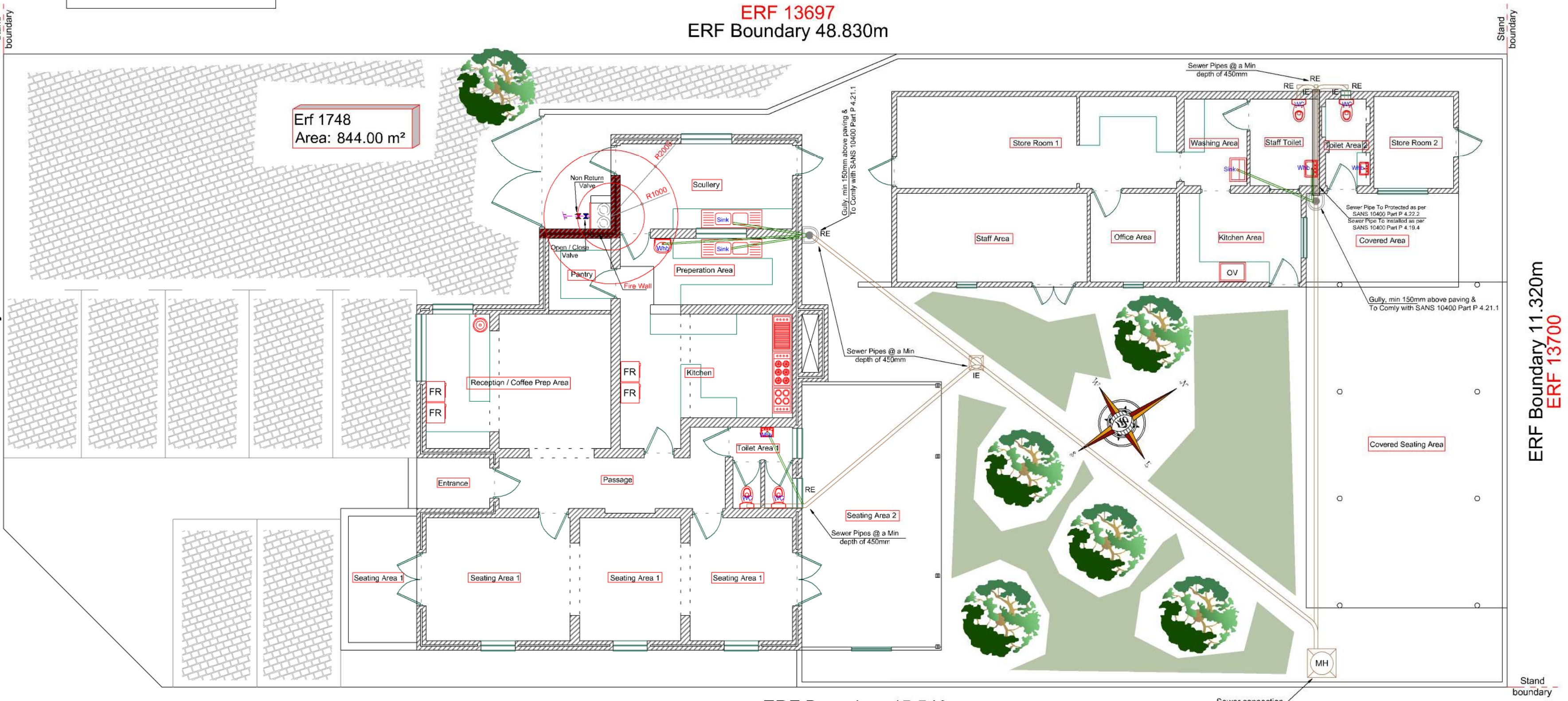
Area Schedule Pergola	
Covered Seating Area	58.23 m²
Total Area	58.23 m²

Site Plan SCALE 1:100

PLEASE NOTE
All is Existing, Plumbing Included

ERF 13697
ERF Boundary 48.830m

Cathedral Str
Side Walk
ERF Boundary 17.500m



ERF Boundary 45.540m
Side Walk
Moore Lane

ERF Boundary 11.320m
ERF 13700



Project Description:
Updating of Building Plans on Erf 1745
George
for Bayleaf Poperties (PTY) LTD

Drawing Nr: H25 - 53
DSBC - 01 - 03
02/12/2025
Drawing :
Site, Dimension and Information Plan

NOTES:
1. All information on the plan must be checked and any discrepancies must be brought to the arch professional's attention, before any building work commences.
2. All levels and dimensions must be checked on site.
3. Drawings must not be scaled.

HOA Approval Stamp if Applicable :



Area Covered:	
Building 1 :	196.77 m²
Building 2 :	98.95 m²
Covered Seating Area :	58.23 m²
Total Area :	353.95 m²
Total Stand Area:	837.00 m²
F.A.R. : 353.95 / 837.00 :	0.4228
Site coverage percentage :	42.28 %
Occupancy :	A1
Zoning :	BZ1

Applicable Party Approval:

Owner/authorized Signature: _____ Date: _____

T Schoon Signature: _____ Date: _____

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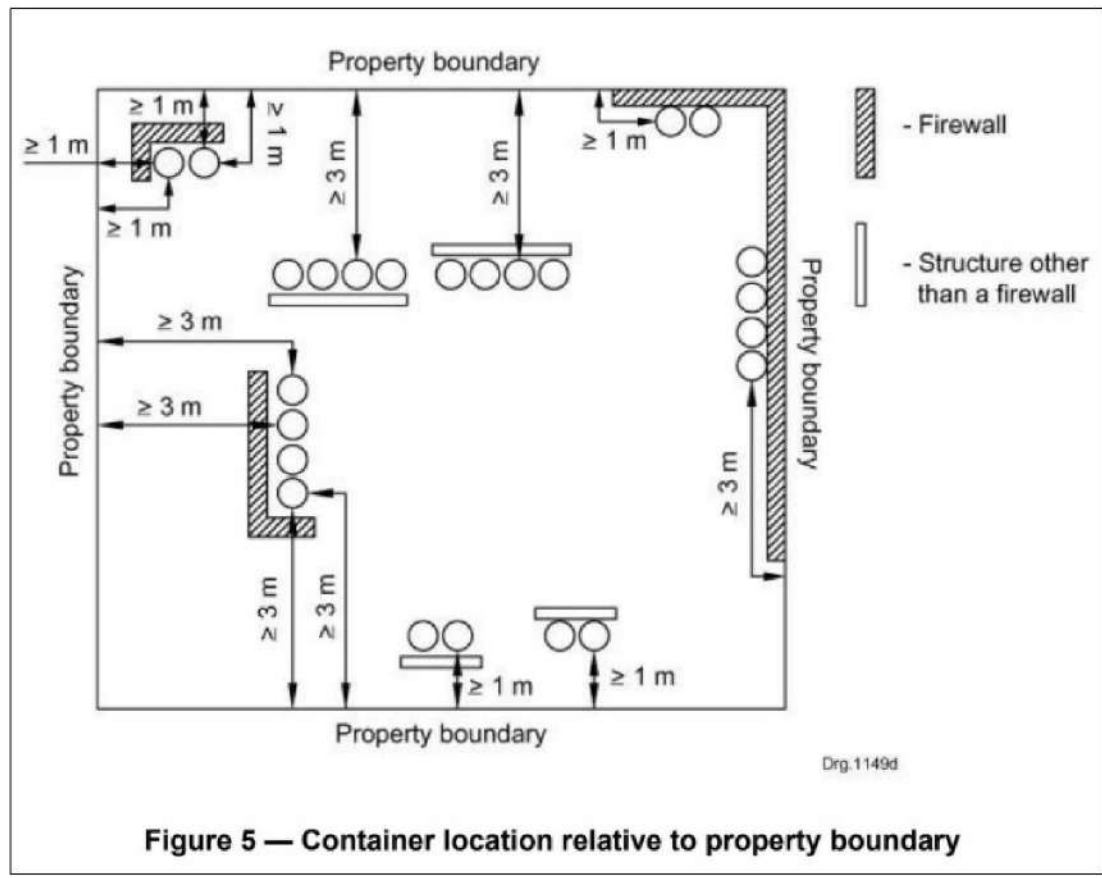
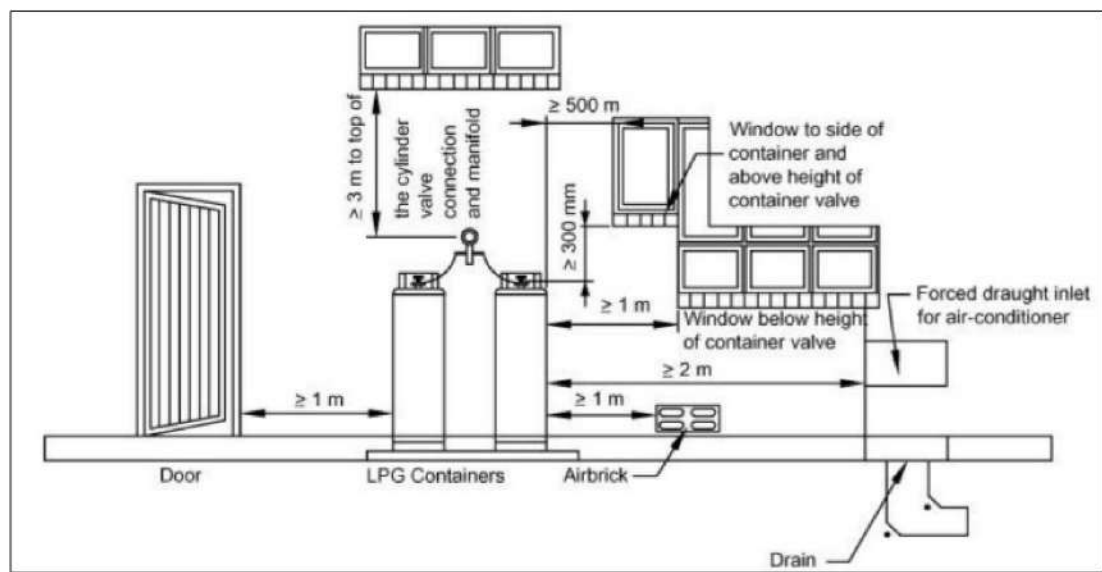


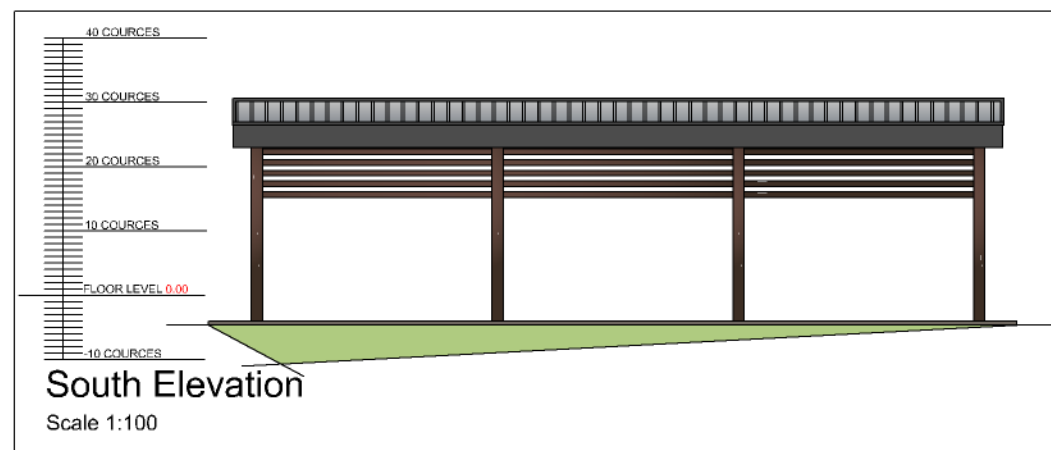
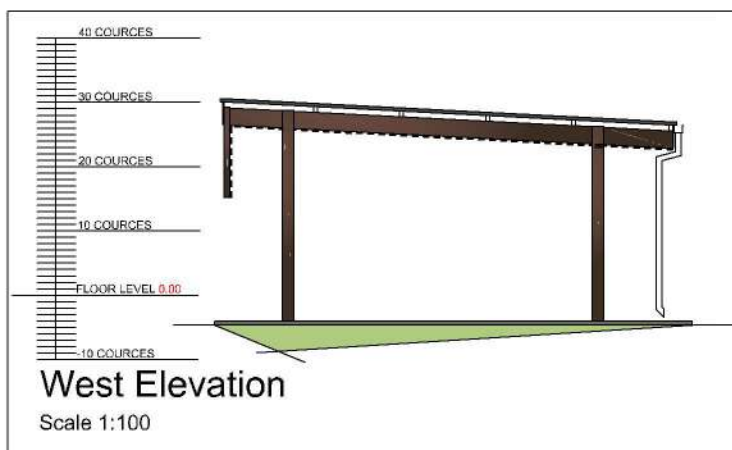
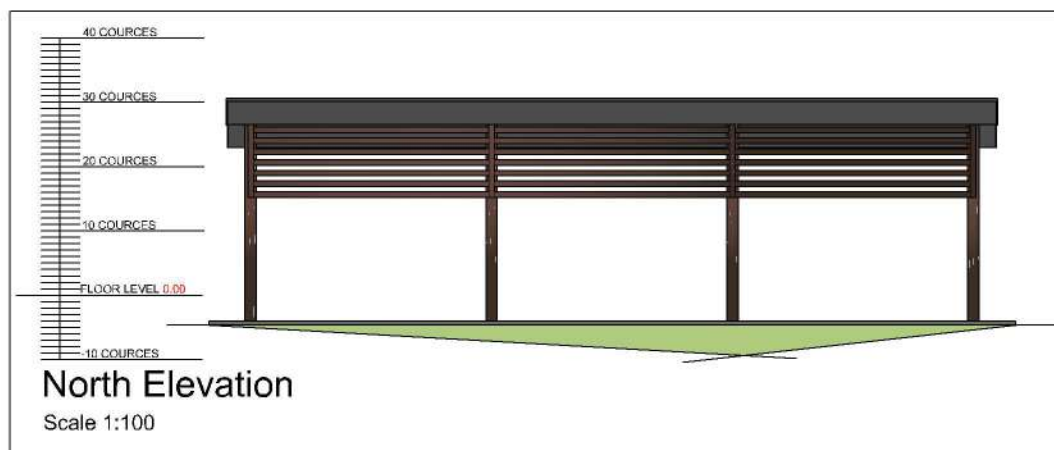
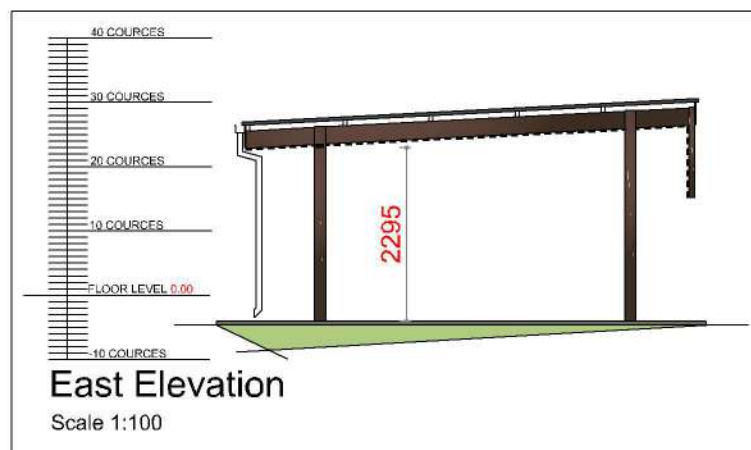
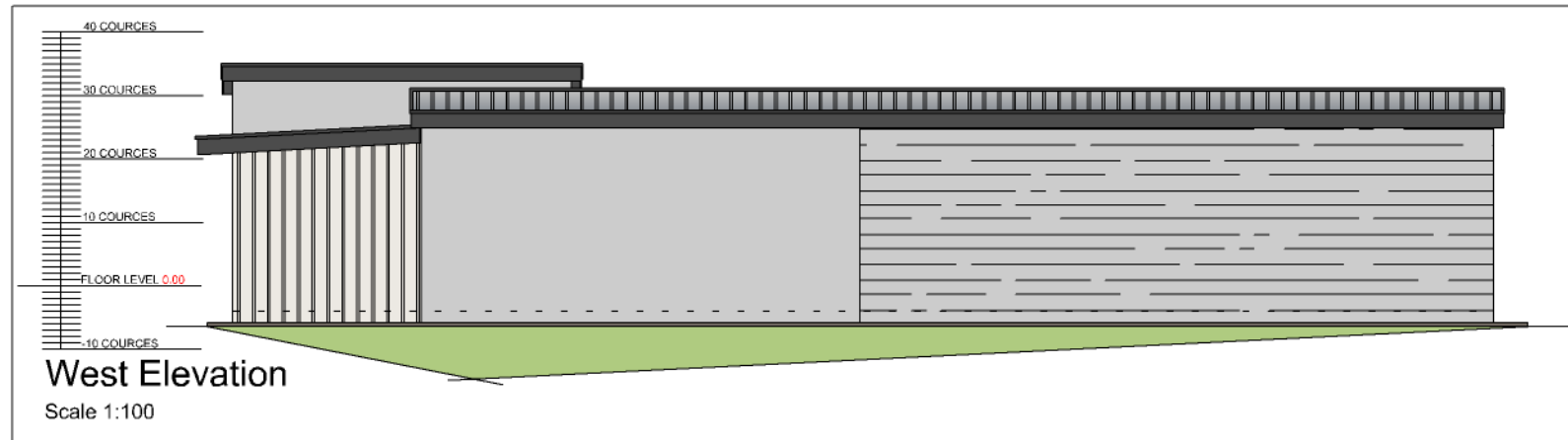
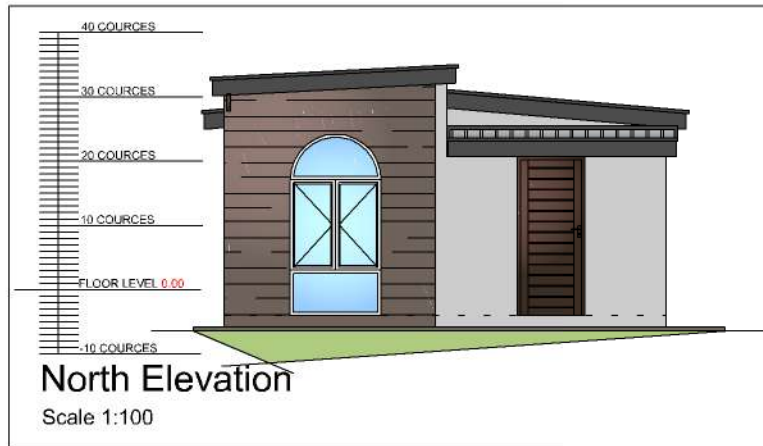
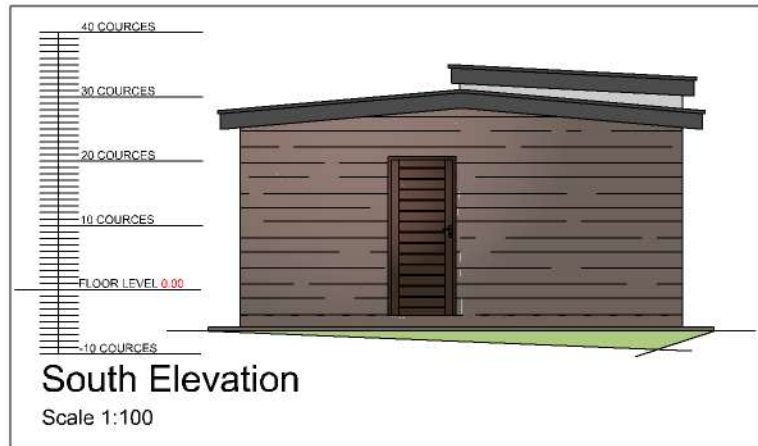
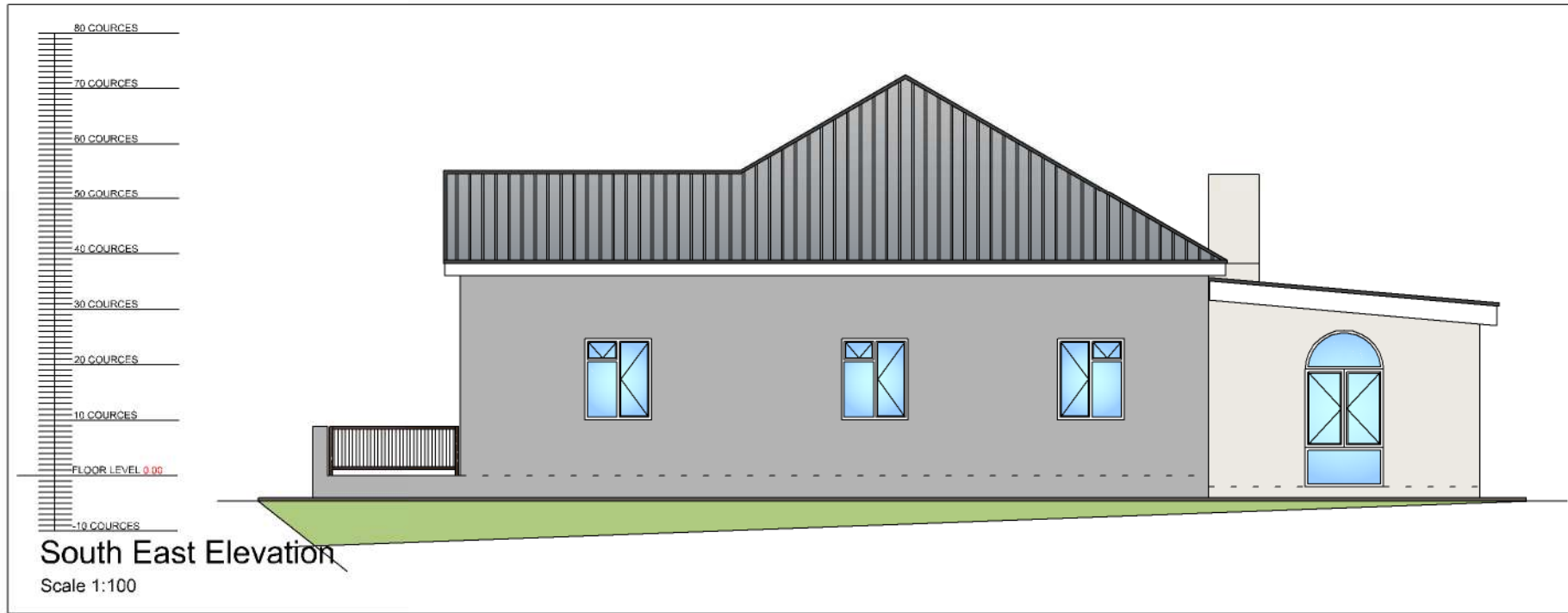
Figure 5 — Container location relative to property boundary



Municipal Approval Stamp

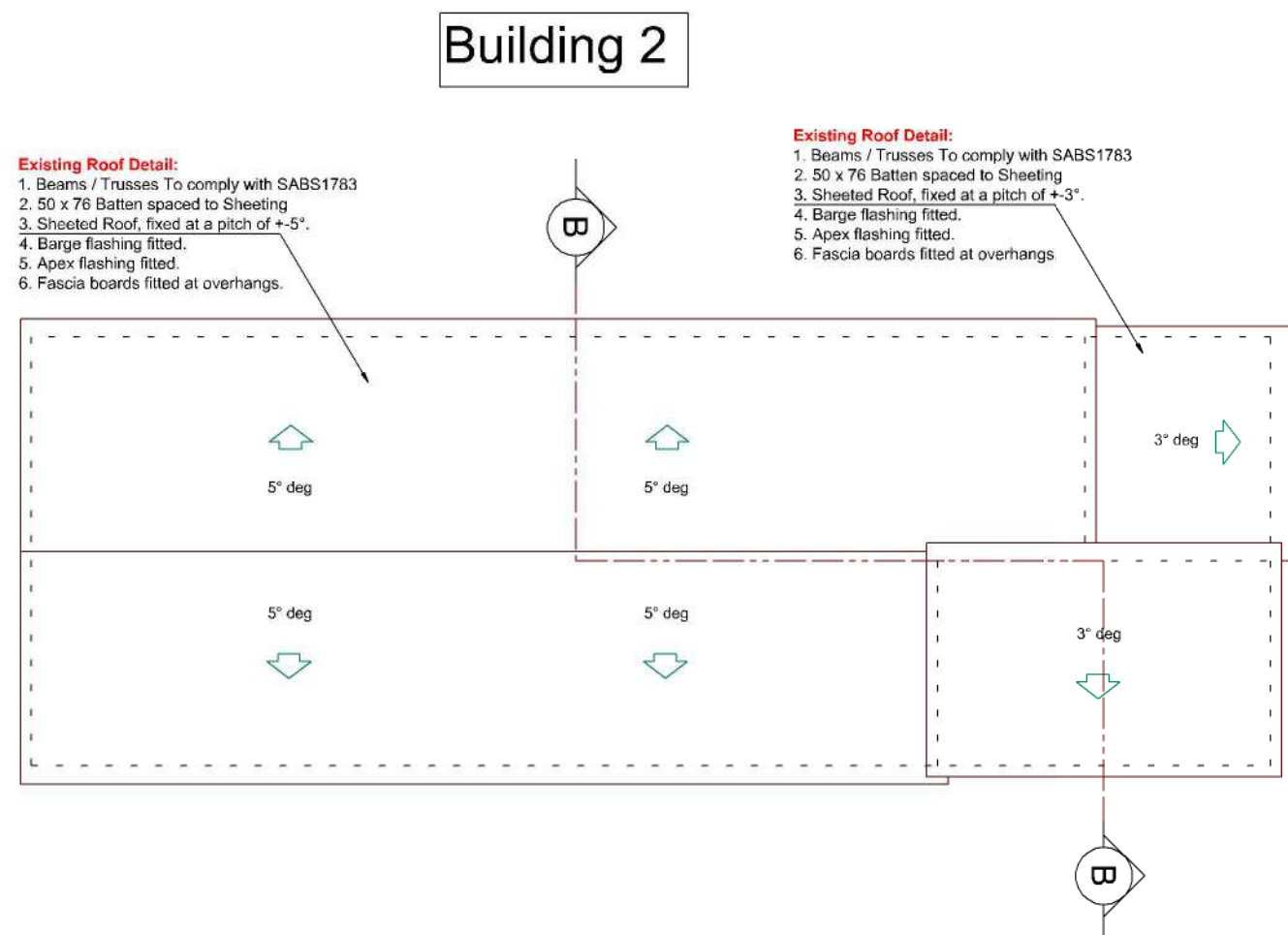
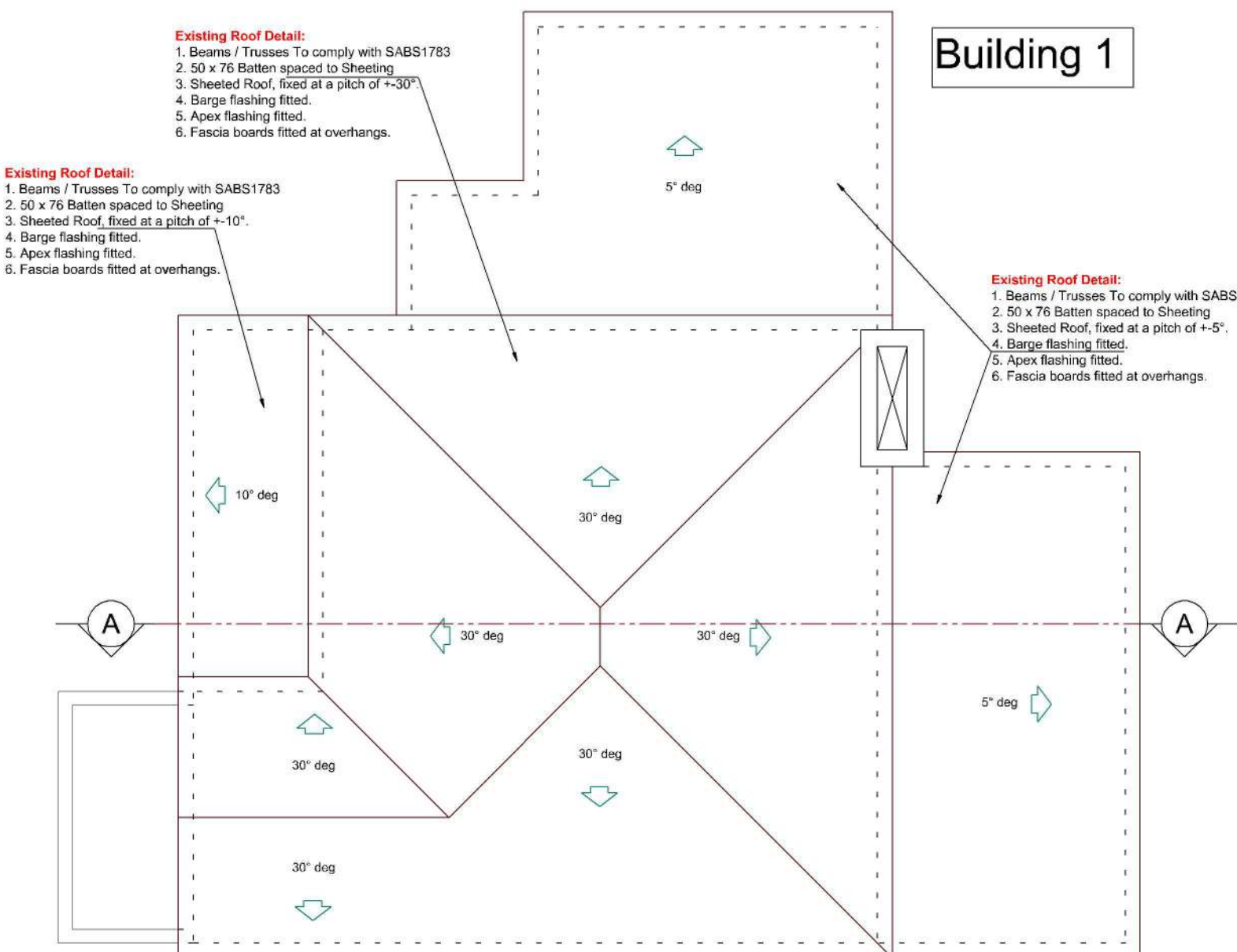
Elevations

SCALE 1:100

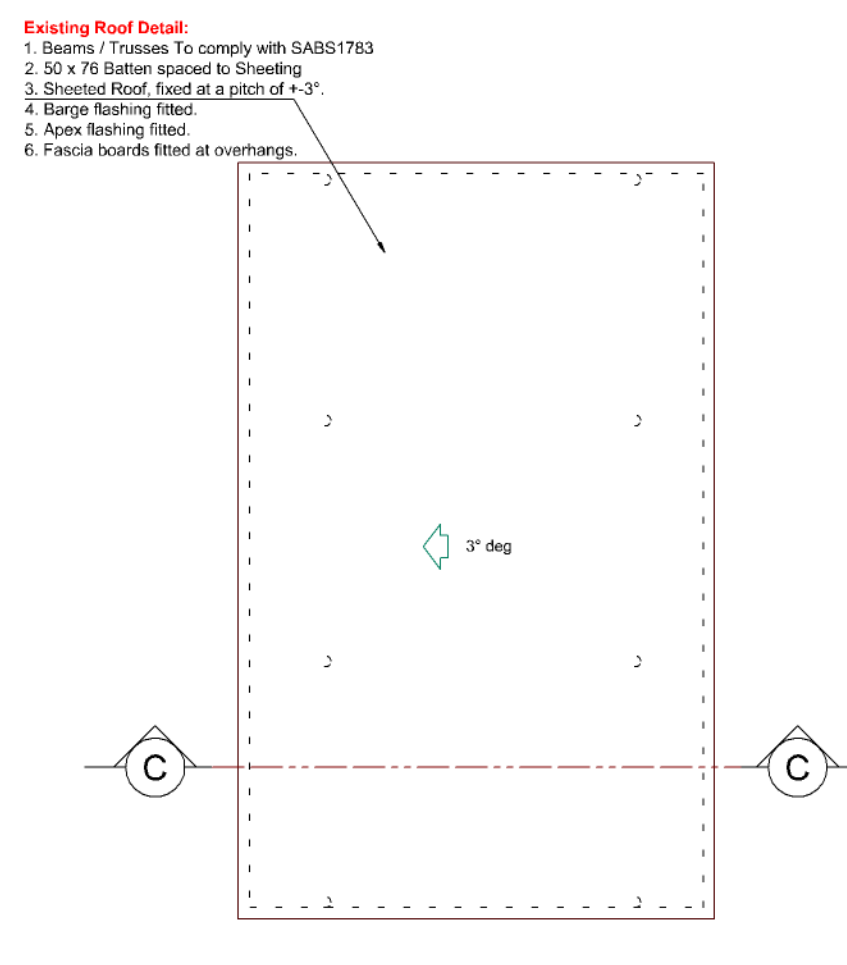


Roof Plan

SCALE 1:100



Covered Seating Area



Project Description:
Updating of Building Plans on Erf 1745
George
for Bayleaf Poperties (PTY) LTD

Drawing Nr: H25 - 53
DSBC - 02 - 03
02/12/2025
Drawing :
Elevations and Roof Plan

NOTES:
1.All information on the plan must be checked and any discrepancies must be brought to the arch professional's attention, before any building work commences.
2.All levels and dimensions must be checked on site.
3.Drawings must not be scaled.

HOA Approval Stamp if Applicable :



Area Covered:	
Building 1 :	196.77 m²
Building 2 :	98.95 m²
Covered Seating Area :	58.23 m²
Total Area :	353.95 m²
Total Stand Area:	
F.A.R. : 353.95 / 837.00 :	0.4228
Site coverage percentage :	42.28 %
Occupancy :	A1
Zoning :	BZ1

Applicable Party Approval:

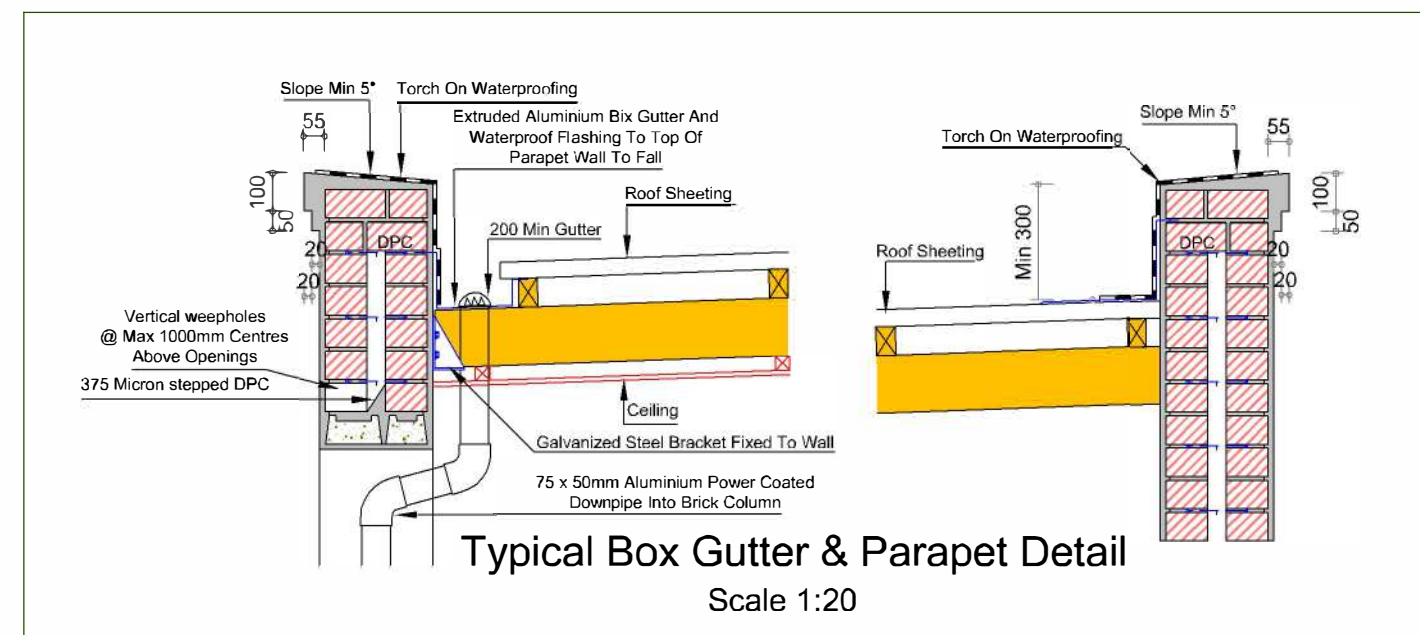
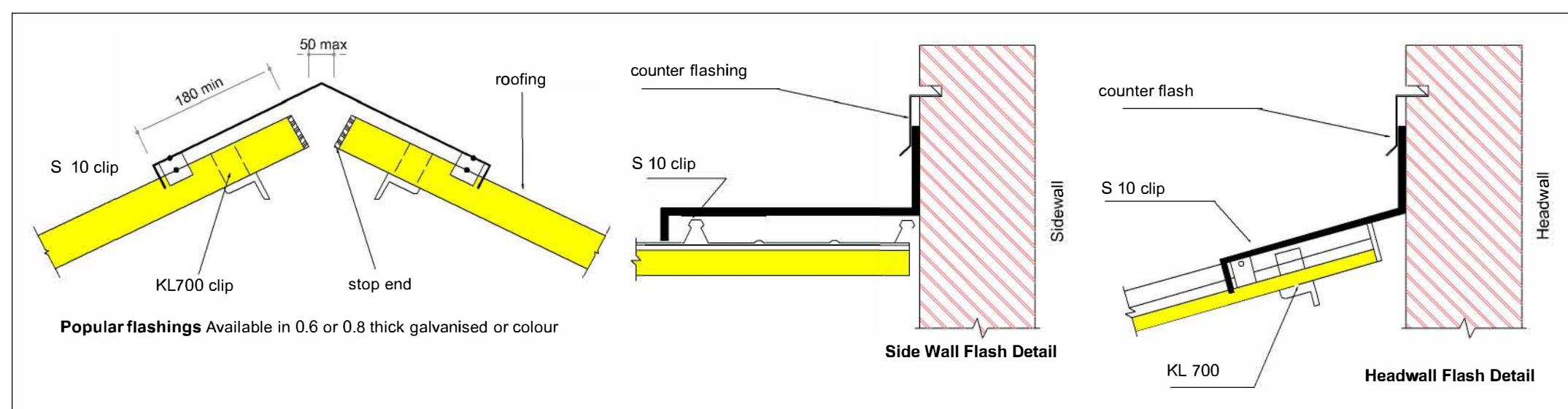
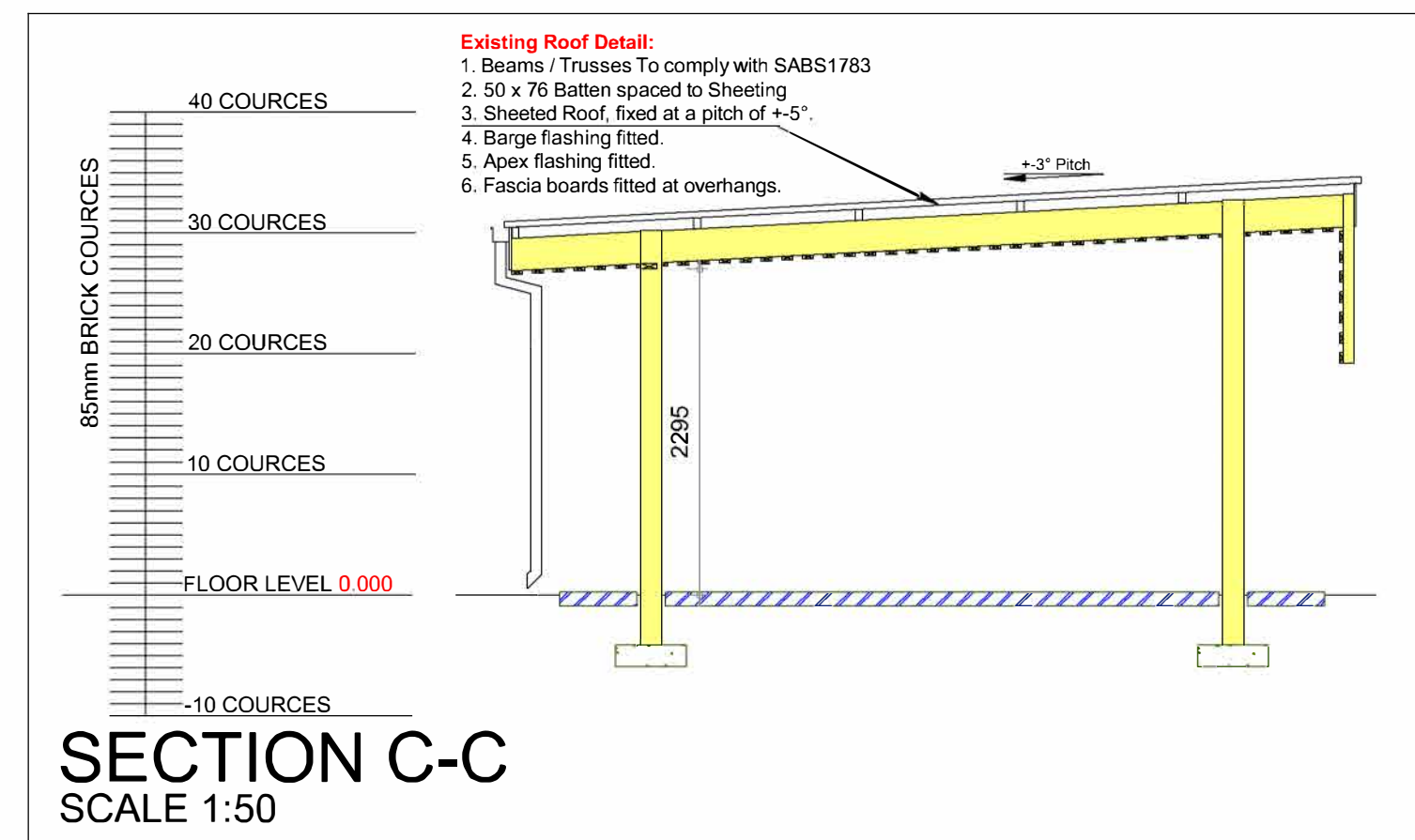
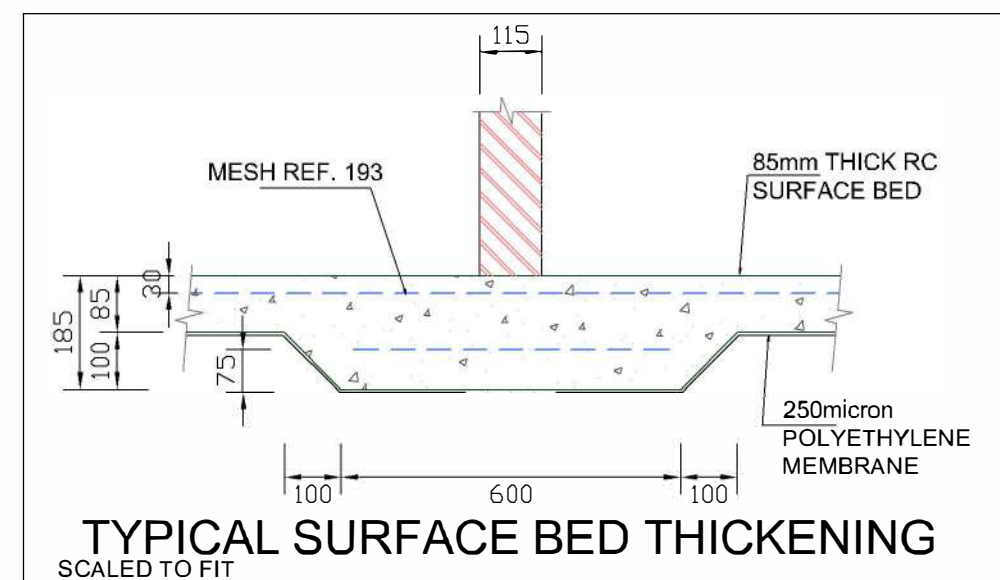
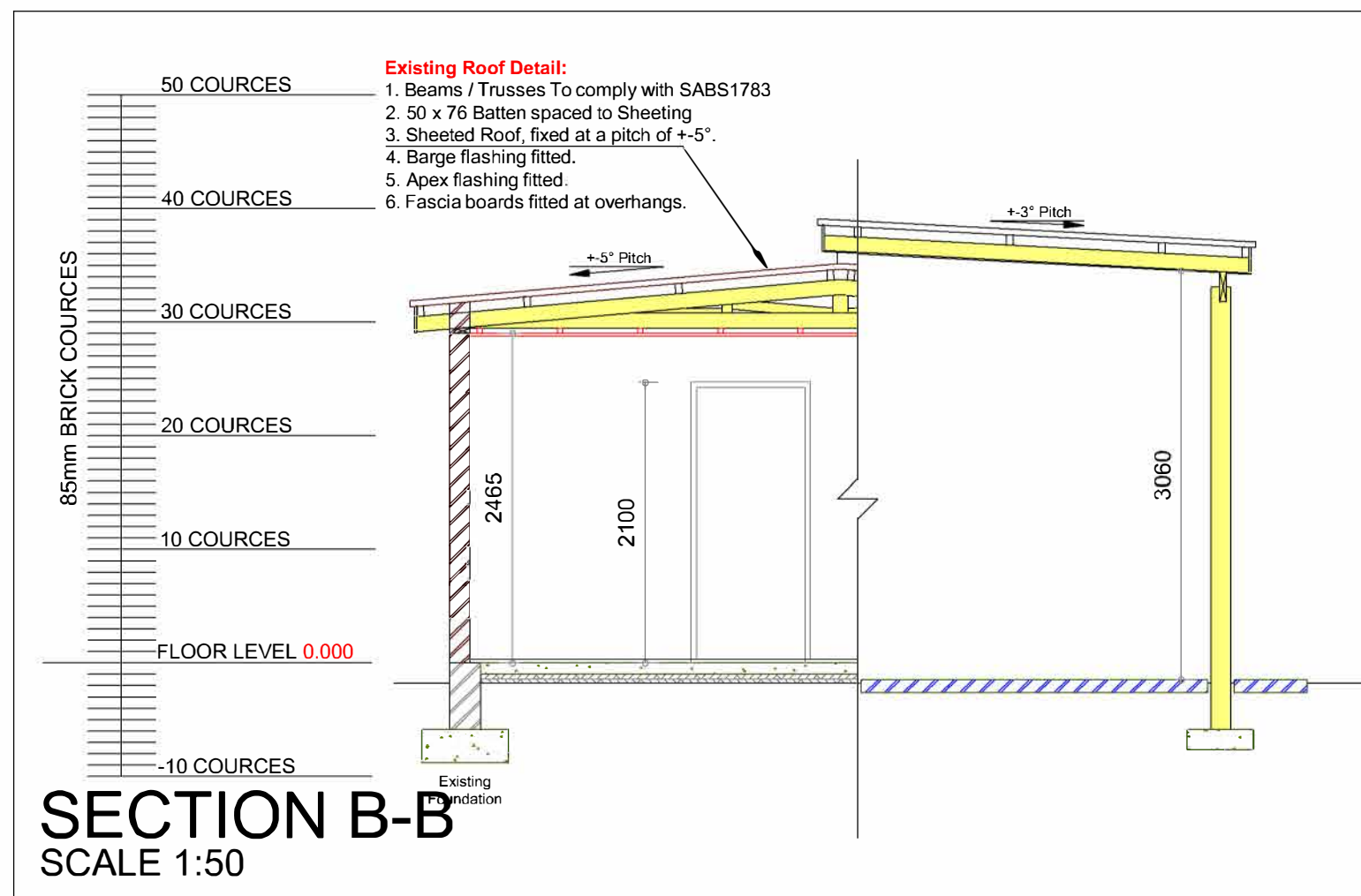
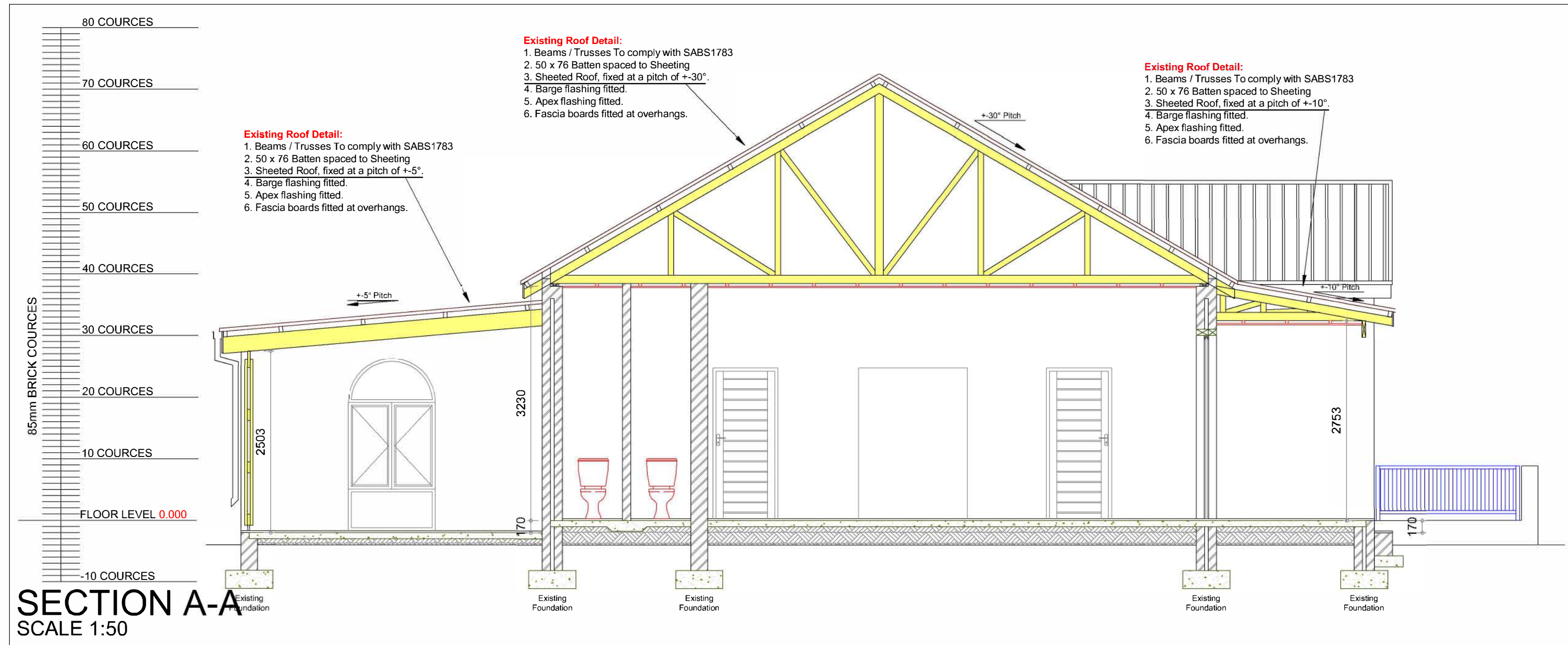
Owner/authorized Signature: _____ **Date:** _____

T Schoon Signature: _____ **Date:** _____

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ACTS OF PARLIAMENT
All Contractors shall ensure that, before any work is put in hand, they comply with all the necessary Acts of Parliament of the Republic of South Africa.





BLUEPRINT DRAUGHTING
 PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON

TIAN SCHOON
 082 303 0652 | TIAN@BLUEPRINTWC.COM



PROFESSIONAL ARCHITECTURAL DRAUGHTSPERSON

TIAN KONRAD SCHOON
PAD 24750648

09:46 AM (Africa/Johannesburg) on 19 Jun 2025




Member NR: 32414

Project Description:
Updating of Building Plans on Erf 1745
George
for Bayleaf Poperties (PTY) LTD

Drawing Nr: H25 - 53 DSBC - 03 - 03 02/12/2025
Drawing : Sections

NOTES:

1. All information on the plan must be checked and any discrepancies must be brought to the arch professional's attention, before any building work commences.
2. All levels and dimensions must be checked on site.
3. Drawings must not be scaled.

HOA Approval Stamp if Applicable :

 Heritage Western Cape
Erfernis Wes-Kaap
ILifa leMveli leNtshona Koloni

17 February 2026

W. Erasmus

**REFER TO SECTION 51 LETTER AND
ASSOCIATED PLANS**

Area Covered:	
Building 1 :	196.77 m²
Building 2 :	98.95 m²
Covered Seating Area :	58.23 m²
Total Area :	353.95 m²
Total Stand Area:	837.00 m²
F.A.R.: 353.95 / 837.00 :	0.4228
Site coverage percentage :	42.28 %
Occupancy :	A1
Zoning :	BZ1

Applicable Party Approval:

Owner/authorized Signiture: _____ Date: _____

T Schoon Signature: _____ Date: _____

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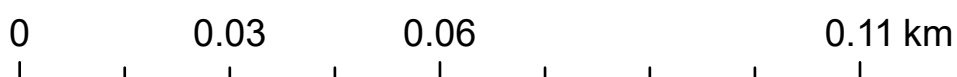
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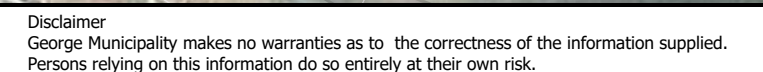
ACTS OF PARLIAMENT

All Contractors shall ensure that, before any work is put in hand, they comply with all the necessary Acts of Parliament of the Republic of South Africa.

ANNEXURE "D"- LOCALITY PLAN



Scale: 1:990



George Municipality will not be liable for any claims whatsoever, whether for damages or otherwise, which may arise as a result of inaccuracies in the information supplied.

ANNEXURE "E" - SURVEYOR GENERAL DIAGRAM

SUB-DIVISIONAL DIAGRAM,
Sect. 24 (3), Act No. 9 of 1923.

OFFICE COPY.

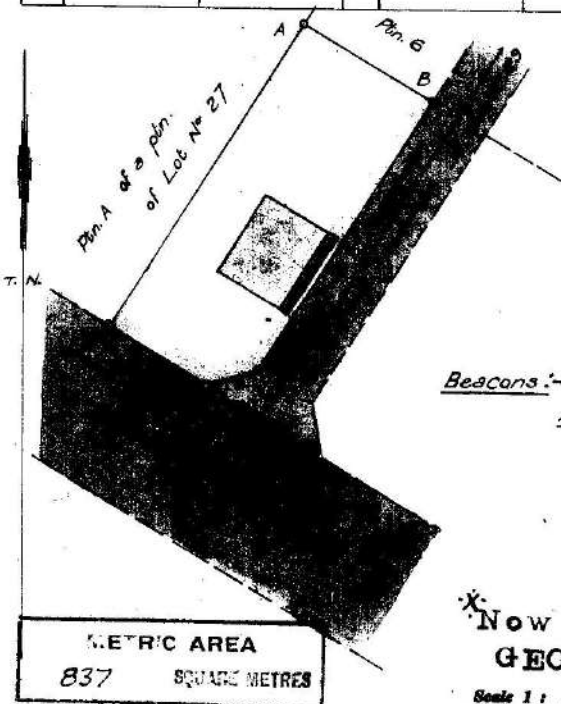
SIDES Cape Feet		ANGLES OF DIRECTION	SYSTEM-2- CO-ORDINATES y	
AB	60	302° 24' 0"	A + 277.11	- 100.81
BC	127.50	32° 24' 0"	B + 226.45	- 68.67
CD	21.21	77° 24' 0"	C + 294.77	+ 38.99
DE	45	122° 24' 0"	D + 315.47	+ 43.61
EA	142.50	212° 24' 0"	E + 355.47	+ 19.50

No. 9988/50

Approved

Indicated plan
Esau de Klerk
Surveyor-General.

- 6 NOV 1951



Beacons:-

A.B.C.D&E, iron pegs
18" long & 1/2" dia.

* Now Erf 1748
GEORGE

Scale 1 : 750

The figure A B C D E

represents 8438 Sq. Feet of land being

*
Portion 7 (a portion of Part No. 1) of Lot No. 29

Municipality and
situate in the Division of George Province of Cape of Good Hope.

Surveyed in Sept. 1950 by me

Thesma

Land Surveyor.

This diagram is annexed to

D/T No. 22715/79

Registrar of Deeds.

The original diagram is

No. 2469/1956 annexed to
D.T. 1936-126-6660

File No. S. 8775/30

S.R. No. E. 2583/50

George S.H.

NTQ BL-7DDC
W44

A.S.P.C.T. & 3866/141

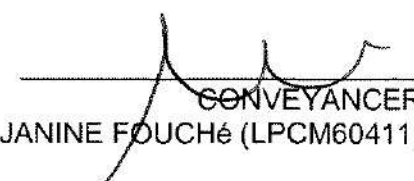
1748

ANNEXURE "F" - TITLE DEED

1082

Symington De Kok Inc
Vineyard Square South
The Vineyard Office Estate
99 Jip de Jager Street
Bellville
7530

Prepared by me


CONVEYANCER
JANINE FOUCHE (LPCM60411)

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R. 1 500 000,00	R. 1220,00
Reason for exemption	Category Exemption	Exemption i t o. Sec/Reg..... Act/Proc.....



T 000013190 / 2021

DEED OF TRANSFER

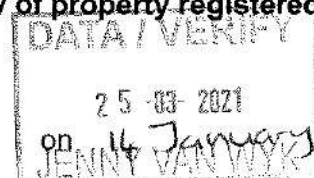
BE IT HEREBY MADE KNOWN THAT

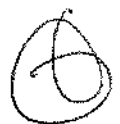
JANINE FOUCHE (LPCM60411)

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him/her by

- QUINTON SELWYN HEWITT**
Identity Number 550530 5108 08 9
Partner in a civil partnership out of community of property registered in terms of the Civil Union Act No. 17 of 2006
- WAYNE BOTHA**
Identity Number 640523 5002 08 1
Partner in a civil partnership out of community of property registered in terms of the Civil Union Act No. 17 of 2006

which said Power of Attorney was signed at *George*





And the appearer declared that his/her said principal had, on 26 November 2020, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

BAYLEAF PROPERTIES (PTY) LTD
REGISTRATION NUMBER: 2020/857941/07

or its Successors in Title or assigns, in full and free property

ERF 1748 GEORGE,
IN THE MUNICIPALITY AND DIVISION OF GEORGE,
PROVINCE OF THE WESTERN CAPE

IN EXTENT 837 (EIGHT HUNDRED AND THIRTY SEVEN) Square metres

FIRST TRANSFERRED by Deed of Transfer Number T 22715/1979 with
Diagram No. 9988/1950 relating thereto and held by Deed of Transfer Number
T54027/2012

SUBJECT to the conditions referred to in Deed of Transfer No. T3412 dated
14th April 1902.



WHEREFORE the said Appearer, renouncing all rights and title which the said

1. **QUINTON SELWYN HEWITT, Partner in a civil partnership as aforesaid**
2. **WAYNE BOTHA, Partner in a civil partnership as aforesaid**

heretofore had to the premises, did in consequence also acknowledge them to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

BAYLEAF PROPERTIES (PTY) LTD
REGISTRATION NUMBER: 2020/857941/07

or its Successors in Title or assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R1 500 000,00 (ONE MILLION FIVE HUNDRED THOUSAND RAND) .

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on

19 MAR 2021

In my presence



REGISTRAR OF DEEDS

ANNEXURE "G"- COMPANY REGISTRATION CERTIFICATE



Company Registration | Captured on 10/11/2020

Tracking Number 9320789534
Customer Code VIAKRU

9320789534

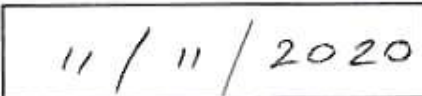
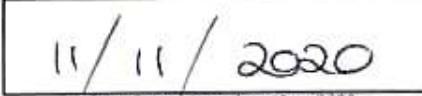
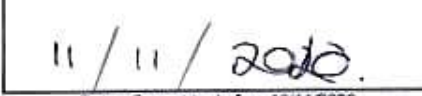
ENTERPRISE INFORMATION

Transaction Date 10/11/2020
Tracking Number 9320789534
Name Reservation Application Number 9320577265
Financial Year End FEBRUARY
Number of Authorised Shares 1000 SHARES

Addresses
POSTAL ADDRESS
24 CATHEDRAL STREET
GEORGE
GEORGE
WESTERN CAPE
6530

ADDRESS OF REGISTERED OFFICE
24 CATHEDRAL STREET
GEORGE
GEORGE
WESTERN CAPE
6530

DIRECTORS & INCORPORATORS

Surname and First Names	Director Type	ID Number / Date of Birth	Addresses
SCHIAVI, DANIELE	Incorporator	7301156427184	Postal: 24 CATHEDRAL STREET, GEORGE, GEORGE, WESTERN CAPE, 6530 Residential: 21 HUDSON AVE, EASTLEIGH, EDENVALE, GAUTENG, 1609
 Signature		 Date - Cannot be before 10/11/2020	
SCHIAVI, DANIELE	Director	7301156427184	Postal: 24 CATHEDRAL STREET, GEORGE, GEORGE, WESTERN CAPE, 6530 Residential: 21 HUDSON AVE, EASTLEIGH, EDENVALE, GAUTENG, 1609
 Signature		 Date - Cannot be before 10/11/2020	
SCHIAVI, GIORGIA IVANA	Incorporator	6909170184085	Postal: 24 CATHEDRAL STREET, GEORGE, GEORGE, WESTERN CAPE, 6530 Residential: 21 HUDSON AVE, EASTLEIGH, EDENVALE, GAUTENG, 1609
 Signature		 Date - Cannot be before 10/11/2020	
SCHIAVI, GIORGIA IVANA	Director	6909170184085	Postal: 24 CATHEDRAL STREET, GEORGE, GEORGE, WESTERN CAPE, 6530 Residential: 21 HUDSON AVE, EASTLEIGH, EDENVALE, GAUTENG, 1609
 Signature		 Date - Cannot be before 10/11/2020	



**RESOLUTION OF THE DIRECTORS OF NEWCO T/A BAYLEAF PROPERTIES (PTY) LTD,
Registration number: 2020/857941/07 ("THE COMPANY")**

HELD AT JOHANNESBURG ON 26 NOVEMBER 2020

RESOLVED THAT:

1. The Company purchases from Quinton S Hewitt and Wayne Botha for the sum of R1,500 000-00 (One point five million rand)

ERF 1748 IN THE MUNICIPALITY AND DIVISION OF GEORGE,
PROVINCE OF THE WESTERN CAPE
MEASURING 837 (EIGHT HUNDRED THIRTY SEVEN) SQUARE METRES

HELD BY T54027/2012

2. DANIELE SCHIAVI, in her capacity as a Director of the Company be and hereby is authorised to sign the relevant documents which may be necessary for the registration of transfer thereof on behalf of the Company upon such terms and conditions as she in her absolute discretion may deem fit.



DANIELE SCHIAVI



GIORGIA IVANA SCHIAVI

ANNEXURE "H" - POWER OF ATTORNEY

POWER OF ATTORNEY

We, the undersigned

Daniele Schiavi and Giorgia Ivana Schiavi

the only Directors of

Bayleaf Properties (Pty) Ltd Registration number 2020/857941/07

the registered owner of

Erf 1748 George

do hereby appoint Jan Vrolijk Town Planner/Stadsbeplanner to prepare, sign and submit the following application to the George Municipality:

Application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the parking requirements stipulated in the table entitled "Minimum off-street parking requirements" in Section 42(2) of the George Integrated Zoning Scheme 2023, from 4 parking bays per 100m² to 3 parking bays per 100m² (PT1) to accommodate the coffee shop (restaurant) on Erf 1748 George.

Signed at George on 15 June 2026

Daniele Schiavi



Giorgia Ivana Schiavi



ANNEXURE "I" - CONVEYANCER CERTIFICATE

CONVEYANCER'S CERTIFICATE

I, the undersigned

RAASHIQ ROBERTS (LPCM Number 95403)

a duly admitted conveyancer in the employ of ESTERHUYSE SAMUELS INCORPORATED practicing at Cape Town hereby certify and confirm that a search was conducted in the Deeds Registry, Cape Town, regarding the following property:

ERF 1748 GEORGE

IN THE MUNICIPALITY AND DIVISION OF GEORGE

PROVINCE OF THE WESTERN CAPE

IN EXTENT 837 (EIGHT HUNDRED AND THIRTY SEVEN) square metres

HELD BY DEED OF TRANSFER T13190/2021

In respect of which it was found that there are no restrictions, servitudes or other limited real rights contained in deed of transfer T13190/2021 prohibiting it from being utilized as more fully elaborated on the accompanying application.

Dated and signed at Cape Town on the 08 day of May 2026.



CONVEYANCER

RAASHIQ ROBERTS (LPCM Number 95403)

ESTERHUYSE SAMUELS INC.

UNIT 4 ACORN HOUSE

EAST WING

OLD OAK OFFICE PARK

1 EDMAR STREET

TYGERVALLEY

CAPE TOWN