

Our Ref.: 1503/GEO/16
Your Ref.: Erf 2542, George

26 June 2026

The Municipal Manager
George Municipality
PO Box 19
GEORGE
6530

ATTENTION: MR. CLINTON PETERSEN

Dear Mr. Petersen,

PROPOSED REZONING OF ERF 2542, GEORGE MUNICIPALITY AND DIVISION

1. The above matter refers.
2. Attached hereto find the following:
 - A copy of the required documentation;
3. We hope that you will be able to process the application as soon as possible.

Yours faithfully
DELPLAN Consulting



DELAREY VILJOEN Pr. Pln

<https://delplan.sharepoint.com/sites/Delplan/Shared Documents/General/Documents/PROJECTS/2026/1503-GEO-26/Korrespondensie/b1.docx>

Cc: TOWRO (PTY) LTD

PROPOSED REZONING OF ERF 2542, GEORGE MUNICIPALITY AND DIVISION



FOR: TOWRO (PTY) LTD



DELPLAN
CONSULTING

URBAN & REGIONAL PLANNERS

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PROPOSED REZONING OF ERF 2542, GEORGE MUNICIPALITY AND DIVISION

1. INTRODUCTION

Erf 2542, George is currently developed with a dwelling house and an outbuilding. The registered owner intends to rezone the property from the current zone to Business Zone I. *DELPLAN Consulting* has been appointed by the registered owner of Erf 2542, George, referred hereafter as the “subject property”, to prepare and submit the required land use application. A copy of the Power of Attorney to submit this land use application is attached as **Annexure 1**.

1.1 Title Deed

The subject property is registered to Towro (PTY) LTD according to the Title Deed T25377/2026. The title deed describes the property as 928m² extant. The title deed is hereafter attached as **Annexure 2**, and the accompanying SG Diagram is attached as **Annexure 3**. The title deed has been scrutinised, and it contains no restrictions that will prohibit the proposed development. This is confirmed with the conveyancer’s certificate attached as **Annexure 4**.

1.2 Land Use Application

This land use application entails the following;

- **Rezoning** in terms of Section 15(2) (a) of the George Municipality: Land Use Planning By-Law (2023) from “Single Residential Zone I” to “Business Zone I” to allow business premises on the property.

2. CONTEXTUAL INFORMATION

2.1 The Locality of the Subject Property

The subject property is situated within the George Central Business District (CBD), in Ward 28, at 95 Merriman Street, George. Figure 1 illustrates the location of the subject property in relation to the surrounding area, while Figure 2 provides a more detailed view of the property and its immediate surroundings. A locality plan is attached hereto as **Annexure 5**.



Figure 1: The location of the subject property in relation to the surrounding neighbourhoods.

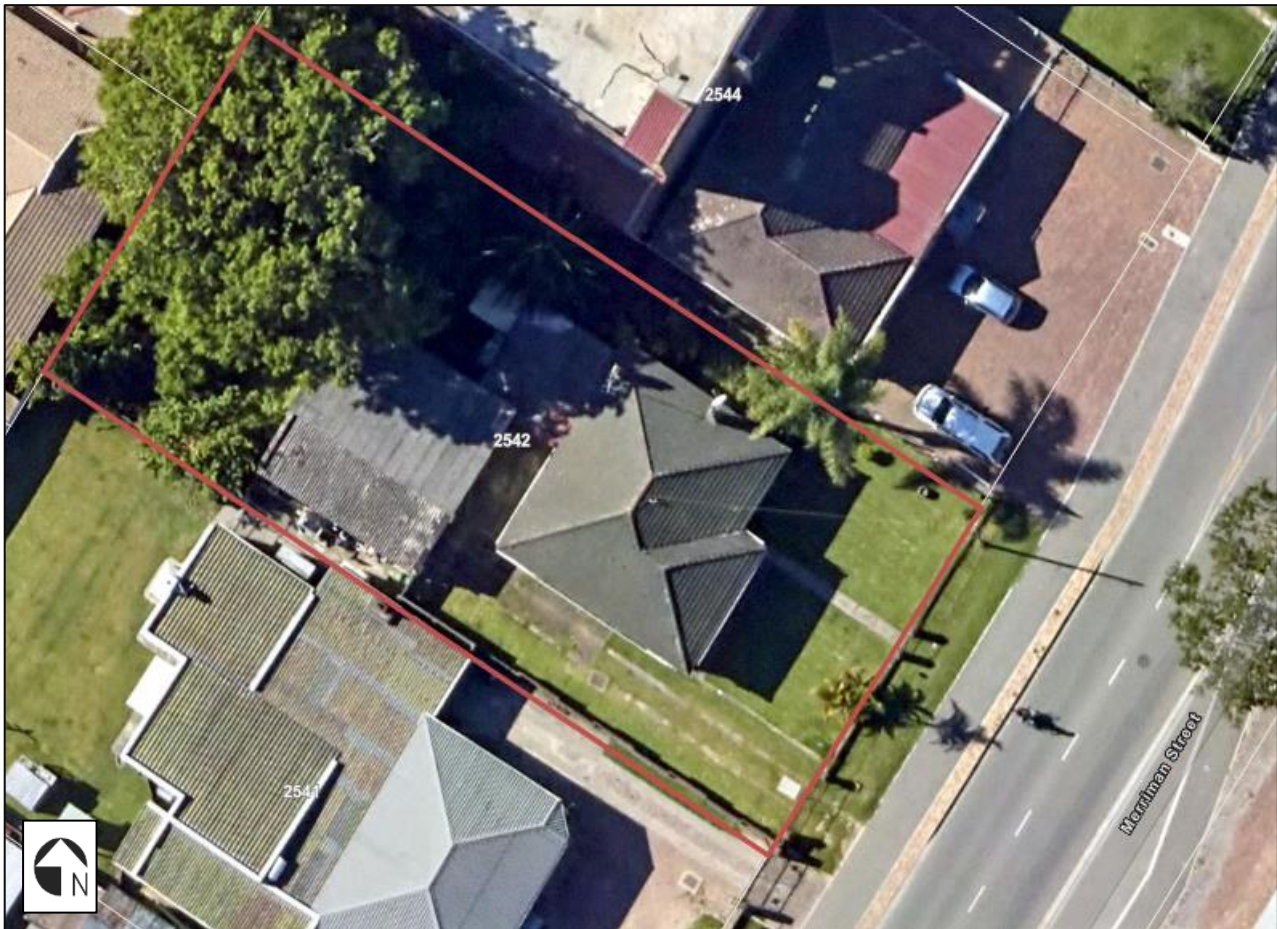


Figure 2: Closer view of the subject property

2.2 Existing Land Uses and Character of the Area

The subject property is currently developed with a dwelling house and an outbuilding, both of which are situated approximately in the centre of the property. Furthermore, the property was utilised for residential purposes. The subject property currently has two access points, namely a vehicular access and a pedestrian access, both of which are obtained from Merriman Street. As part of the proposed development, the owner intends to close the existing access points and establish a new, improved vehicular access. The proposed access point is appropriately positioned and located at a sufficient distance from any intersections. Therefore, it is not anticipated that the proposed development will adversely affect existing traffic movement or road safety within the surrounding area.

The subject property is located within the George Central Business District (CBD), an area intended to accommodate and promote a vibrant mix of commercial, business, and residential land uses. The owner proposes to rezone the property from its current zoning to Business Zone I to facilitate the intended land use. It is not anticipated that the proposed development will negatively impact surrounding properties or alter the character of the area, as the property is situated within an

established business environment. While the streetscape may be temporarily affected during the renovation phase, the proposed improvements will enhance the appearance of the property and, upon completion, will be compatible with the existing character and urban form of the surrounding CBD area.

Furthermore, the subject property is located within an area that is already fully serviced by municipal infrastructure. The proposed development will therefore optimise the utilisation of existing engineering services without placing undue pressure on municipal resources. Figure 3 illustrates the existing business and commercial land uses surrounding the subject property, demonstrating the property's integration within the broader CBD context.



Figure 3: Surrounding business

2.3 Zoning

The zoning of the subject property, according to the George Integrated Zoning Scheme By-Law, is “*Single Residential Zone 1*”. The land use plan is attached as **Annexure 6**. Figure 4 indicates the zoning of the subject property as well as its immediate surroundings. As

mentioned above, the subject property is bounded by different land uses. The current zoning plan and proposed zoning plan are attached as **Annexure 7 and 8**, respectively.



Figure 4: Zoning of Erf 2542, George

3. DEVELOPMENT PROPOSAL

3.1 Proposed Development

As previously mentioned, the subject property is currently developed with an existing dwelling house and an outbuilding. The owner proposes to rezone the property to Business Zone I in order to accommodate business use on the premises. The proposed development will utilise the existing buildings on the property, which will be renovated and converted into offices. As part of the proposed renovations, the owner intends to replace the existing roof structures with a new metal-sheet roof. In addition, a 2m high boundary wall is proposed along the street frontage to enhance security and improve the overall appearance of the property. Furthermore, the owner proposes the removal of the existing palm tree located on the property to facilitate the proposed site improvements. No substantial alterations to the building footprint are proposed, as the existing structures will be adapted for their intended use. The proposed site layout provides a total of eight parking bays.

Two parking bays (bay 1 & 2) will be located adjacent to Merriman Street, while the remaining parking bays will be accommodated towards the rear of the property. Bays 1 & 2 are within 10 meters of the road, therefore contradicting business premises parameters J (ii). This application therefore requests that these parking bays be allowed for three main reasons. The first is that the existing structures will be utilised in their existing extent, which means that no other space is available on the site. The second is that the current parking bays meet the applicable manoeuvring requirements to make it viable (given site circumstances), and the third is that the relevant landscaping will in any case minimise the effect of the parking bays on the street as indicated. A dedicated refuse storage area is also proposed along the Merriman Street frontage to ensure convenient access for municipal refuse collection services.

The proposed development will upgrade the existing property, improve its functionality, and contribute positively to the commercial character of the surrounding George CBD area. Figure 5 provides a visual of the proposed site plan layout. The full site plan is attached as **Annexure 9**.

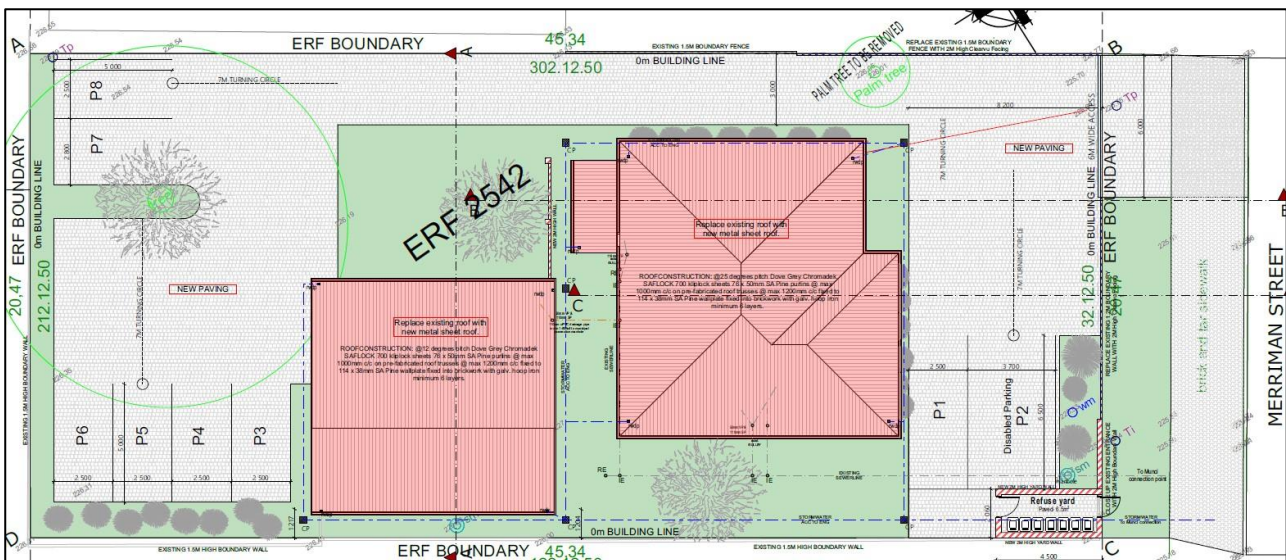


Figure 5: Proposed Site Plan layout

As a result of the proposed rezoning to Business Zone I all building lines are set at 0m thus no departures are required for any of the existing buildings. The proposed GLA of 160, 67m² will require only 6 parking bays, whilst 8 are provided on site. This is in line with the Zoning By-law. The approval of the proposed rezoning application will enable the adaptive reuse of the existing buildings, thereby promoting the efficient utilisation of the property within the George CBD. Furthermore, the proposed development will facilitate the establishment of a new business, contribute to local economic activity, and support the continued growth and vitality of the CBD. The approval of the application will allow for the creation of a new business within George CBD, which will enable the owner to utilise the property to its fullest potential.

3.2 Accessibility and Parking

The existing accesses via Merriman Street will be closed and replaced with a new 6m wide access point to serve the proposed development. The proposed access point is appropriately located and positioned at a sufficient distance from nearby intersections, thereby ensuring that existing traffic circulation and road safety within the surrounding road network will not be negatively affected. Pedestrian movement along Merriman Street will not be impacted by the proposed development, as a dedicated pedestrian walkway is provided along the street frontage and will remain unobstructed. No structures or site improvements are proposed that would interfere with the safe and convenient movement of pedestrians.

Eight parking bays are provided on the property, which does meet the required amount; however, as mentioned, since the property is located in proximity to public transport, the reliance on private vehicles is reduced. In addition, sufficient internal manoeuvring space has been incorporated into the site layout to allow vehicles to enter, circulate within, and exit the property safely and efficiently. As a result, the proposed development will be capable of accommodating its parking requirements entirely on-site, thereby eliminating the need for on-street parking and minimising any potential impact on the surrounding road network.

As noted previously, two parking bays (bay 1 & 2) will be located adjacent to Merriman Street, while the remaining parking bays will be accommodated towards the rear of the property. Bays 1 & 2 are within 10 meters of the road, therefore contradicting business premises parameters J (ii). This application therefore requests that these parking bays be allowed for three main reasons. The first is that the existing structures will be utilised in their existing extent, which means that no other space is available on the site. The second is that the current parking bays meet the applicable manoeuvring requirements to make it viable (given site circumstances), and the third is that the relevant landscaping will in any case minimise the effect of the parking bays on the street as it will barely be visible.

Figure 6 illustrates the location and configuration of the proposed access point serving the development.



Figure 6: Street view of the subject property

The access amendments are indicated in red in figure 6, as can be seen the current access points will be closed with a new access proposed.

3.3 Engineering Services

The property is located in an already developed and serviced area. The property owner will be held financially responsible for the capital contributions.

3.3 Heritage Feedback

The subject property is situated within a designated heritage area. In this regard, the proposal was referred to the heritage department for comment. Mr Ruan Brand of Western Cape Heritage provided the following comment regarding the proposed development:

- “Given that no alterations to the fabric or a demolition is proposed (and a permit has already been provided for other proposed work in terms of Section 34(1)), and the property is less than 5000 square meters in extent, there is no trigger in terms of the NHRA for the proposed rezoning.”

In this instance, the subject property has an extent of less than 1 000 m² and therefore falls within the category referred to in the email from Western Cape Heritage. The email exchanged between Mr Ruan Brand from HWC and the property owner regarding the heritage considerations applicable to the proposed development is attached hereto as **Annexure 10**.

3.4 Pre-Application

A Pre-application meeting was conducted on 10 February 2026 (**Annexure 11**). The following comments were made:

Town Planning comment:

- Applicant to motivate proposal in terms of SPLUMA, LUPA, PSDF, MSDF and LSDF. Any deviation must be motivated.

Noted. The relevant policies are addressed in the motivational report.

- Approval from Heritage Western Cape required.

Noted. Emails between Mr Ruan Brand of Heritage Western Cape and the property owner are attached hereto as Annexure 10. In his email, Mr Brand confirmed that the proposed development does not trigger the provisions of the NHRA, as the proposed development area is less than 5000m².

- Rezoning to Business Zone I in principle may be supported from a spatial planning perspective.

Noted.

- Applicant must indicate compliance with the zoning objective, land use description and development parameters contained in the George Integrated Zoning Scheme By-law, 2023. Any deviation from the latter requires a departure application.

Noted. No departures are required.

- All structures on site and development parameters of the zoning to be indicated on the site/subdivisional plan.

Noted. All structures are indicated on the site plan, as well as the proposed removal of the palm tree.

-
- Please include a zoning comparison of the current versus proposed zoning / land use.

Noted. The proposed zoning, as well as the current zoning, is attached.

- Applicant to clearly demonstrate and indicate additions and structures to be demolished.

Noted. This is complied with.

- Applicant to address development parameter (j)(ii) under “business premises”. Motivate approval required by the Municipality.

Noted. This is complied with.

- Please address impact on the streetscape and mitigation to improve street interface.

Noted. This is complied with.

- Adequate parking spaces, manoeuvring space and dimensions to be indicated on the site plan.

Noted. This is complied with.

- Existing mature vegetation to be retained and incorporated into the design and development, especially the mature tree.

Noted. The mature tree on the rear side of the property has been incorporated into the design. This large tree has unfortunately been lost in the recent storms and anew one will be planted.; however, the palm tree along Merriman Street will be removed to provide access to the rear side of the property. The rest of the site will be landscaped.

- Height may be limited to align with the character of the area.

Noted. The proposed development height would remain unchanged.

- Submit heritage inputs and address impact in the motivation.

Noted. Heritage feedback is attached.

Civil Engineering Services comment:

- Access be restricted via Merriman Street.

Noted. This is complied with.

- Access should comply to the GIZS 2023, alternatively any deviation should be included within a land use application.

Noted.

- Lowering and heightening of kerb to be done in conjunction and approval of the Directorate Civil Engineering Services to avoid parking on street reserve.

Noted.

- All parking must be provided on-site, in compliance with the GIZS 2023 parking requirements

Noted. This is complied with.

- No parking is allowed within the road reserve, and the owner may be held liable for any costs incurred to prevent unauthorized parking in this area.

Noted. This is complied with.

- PT1 parking ratio may be applied for.

Noted.

- Normal Development Charges (DCs), applicable on services available, will be levied in accordance with the DC policy and the applicable By-law and or policy.

Noted.**Electro Technical Services comment:**

- Electricity DCs applicable.
- Allowance to be made by applicant for the overhead service connection to be replaced with underground cable.

Noted.

4. RELEVANT SPATIAL PLANNING POLICIES

This section briefly addresses the relevant spatial policy frameworks that provide guidance to development proposals in general and their applicability to this proposed development. These include:

4.1 George Municipal Spatial Development Framework (GMSDF) (2023)

The George MSDF does not specifically address the subject property; however, it does identify the Central Business District (CBD) as the primary commercial and administrative node within the municipal area. The subject property is located within the George CBD, where a mixture of business, commercial, professional, and administrative land uses already occur. The proposed rezoning from Single Residential Zone I to Business Zone I will facilitate the conversion of the existing dwelling and outbuilding into office accommodation, thereby supporting the continued growth and functioning of the CBD as the municipality's primary economic node.

The proposed office use is compatible with the existing land use pattern and will complement the predominantly business and commercial character of the surrounding properties. Furthermore, the development makes use of existing buildings and municipal infrastructure, thereby promoting efficient land utilisation and reducing the need for additional infrastructure investment. Figure 7 provides a visual of the medium-term business development edge.

The MSDF further encourages development that supports a compact urban form, improves accessibility to employment opportunities, and concentrates economic activity within existing urban areas. The proposed development achieves these objectives by accommodating business activities within an established and well-serviced urban environment that is accessible by public transport, pedestrians, and private vehicles. The proposed development will therefore strengthen the role of the George CBD, contribute to local economic activity, and promote the efficient use of land and infrastructure.

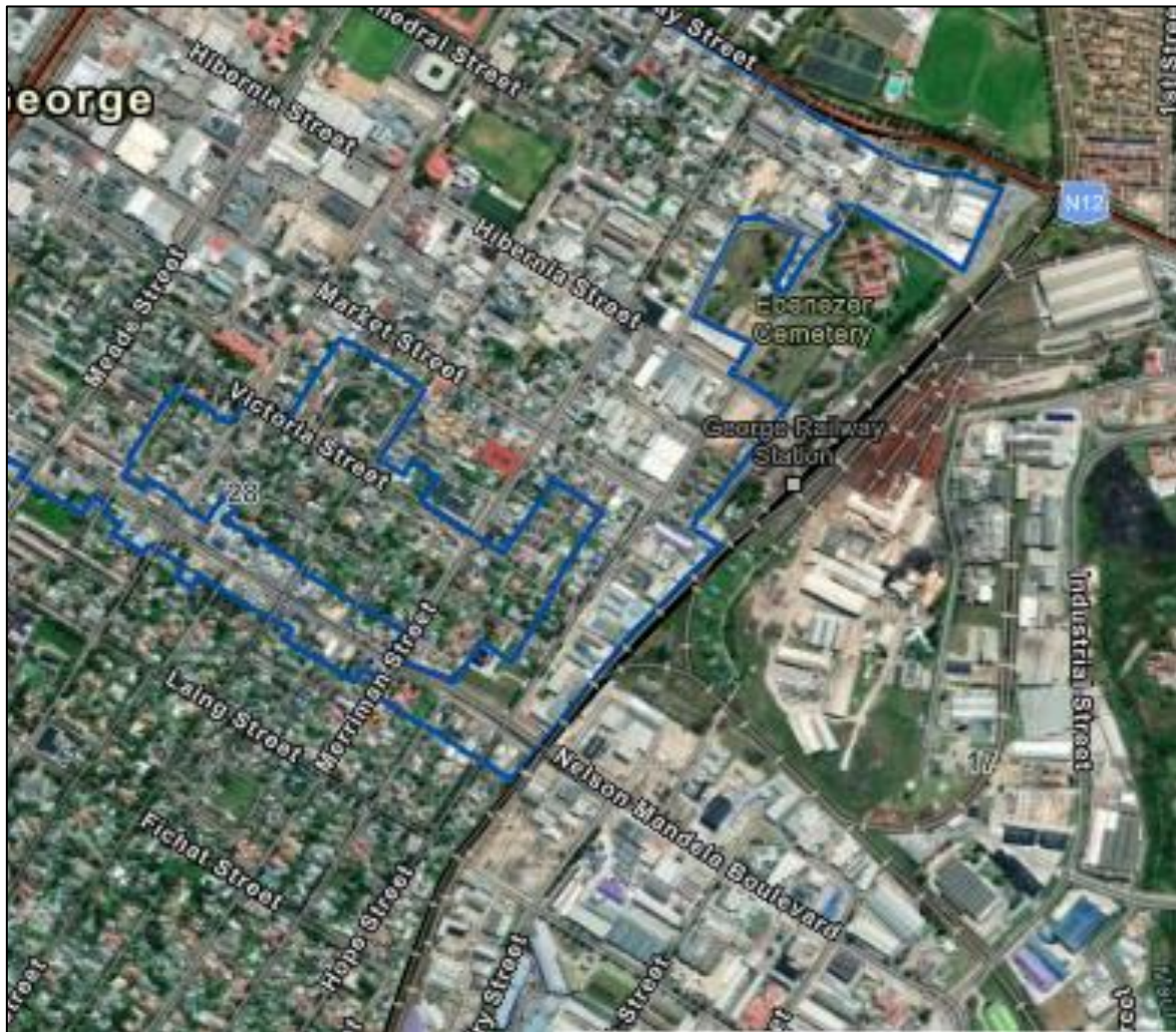


Figure 7: Medium term business development edge

Additionally, the proposed rezoning is not in conflict with the George MSDF and are considered to be consistent with its spatial vision and development objectives. The MSDF also states that the George CBD is a high-intensity mixed-use area that is defined by a business edge, including offices and housing options. Figure 8 provides a visual of the subject property in proximity to the Go George transport routes.

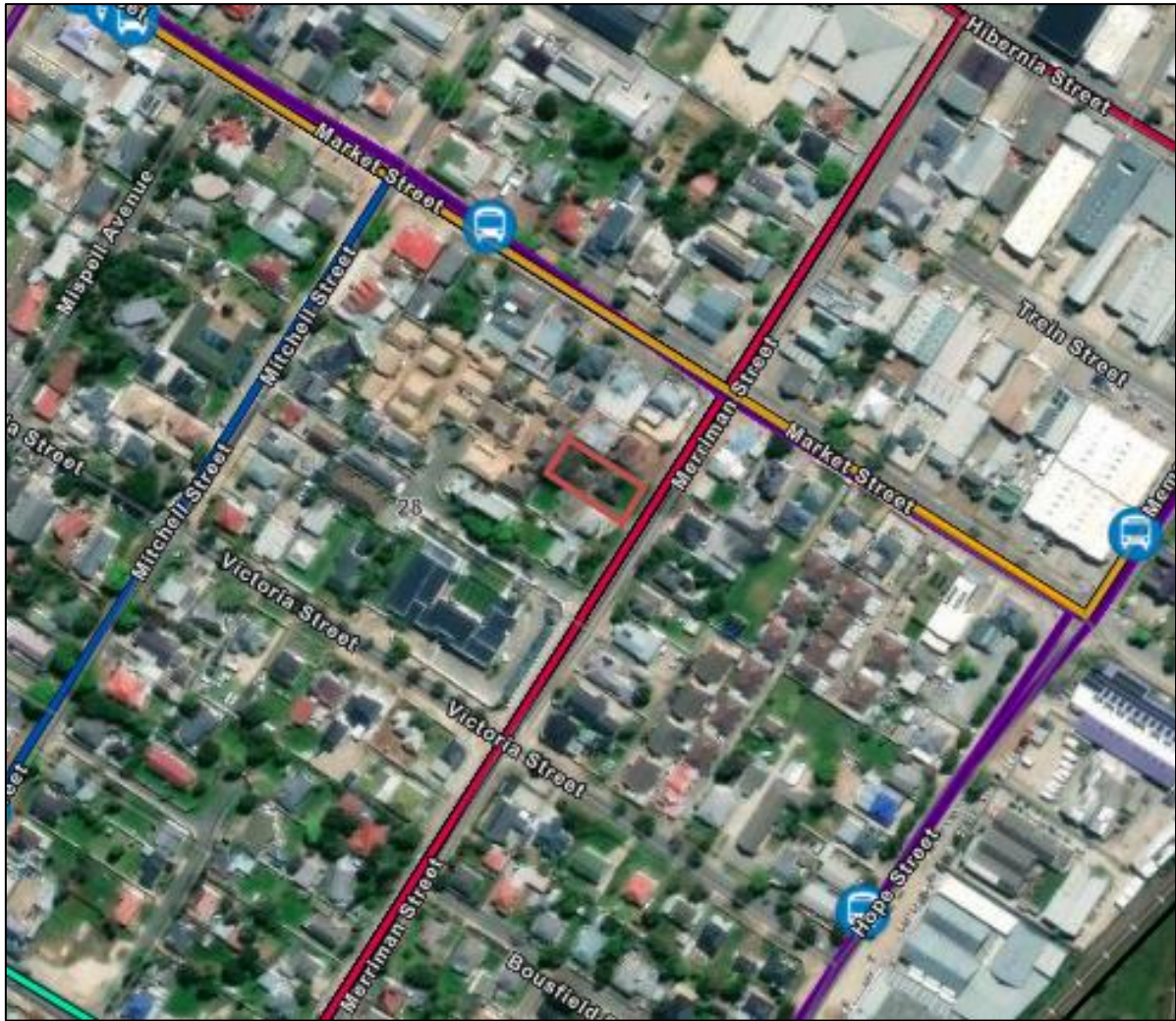


Figure 8: Go George Transport route

5. STATUTORY FRAMEWORKS

Following the most recent legislative and procedural changes that have become applicable to the management of land use planning in South Africa and, consequently, the Western Cape Province, it is considered necessary to summarise the implications of the current statutory framework within the context of this land-use planning application. Set out below are a set of principles and ethical conventions related to this application.

5.1 Spatial Planning and Land Use Management Act, 2013 (ACT 16 OF 2013) (SPLUMA)

The nature of this land use application only partially affects the five development principles of the Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013) (SPLUMA). Only the most relevant aspects are addressed below.

5.1.1 Development Principles

1) Spatial Justice

This principle refers to the need for improved access and use of land in order to readdress past spatial and development imbalances, as well as the need for SDFs and relevant planning policies, spatial planning mechanisms, land use management systems and land development procedures to address these imbalances.

- *No reference is made to the property in the SDF or relevant planning policies specifically. As previously stated, the property does fall within the CBD area as well as the medium-term business development edge, thus not contravening the SDF.*

2) Spatial Sustainability

This principle refers to the need for spatial planning and land use management systems to promote land development that is viable and feasible within a South African context, to ensure the protection of agricultural land and to maintain environmental management mechanisms. It furthermore relates to the need to promote effective/equitable land markets, whilst considering the cost implications of future development on infrastructure and social services, as well as the need to limit urban sprawl and ensure viable communities.

- *This land-use application does not affect prime - or unique agricultural land, nor does it influence any environmental management mechanisms. The property is situated in an overwhelmingly business-oriented area; this new development will therefore not negatively affect the efficient and equitable functioning of land markets.*

3) Spatial Efficiency

This principle relates to the need for optimal use of existing resources and infrastructure, as well as decision-making that minimises negative financial, social, economic or environmental impacts and development application procedures that are efficient and streamlined.

- *As mentioned above, the proposed development is situated in an already serviced area. The proposed development will therefore utilise the existing resources and infrastructure.*

4) Spatial Resilience

This principle refers to the extent to which spatial plans, policies and land use management systems are flexible and accommodating to ensure sustainable livelihoods in communities most likely to suffer the impacts of economic and environmental shocks.

- *The development proposal does not undermine the aim of any relevant spatial plan. The aspects of spatial resilience are, however, not considered relevant to this application.*

5) Good Administration

This principle refers to the obligation of all spheres of government to ensure implementation of the above as efficiently, responsibly and transparently as possible.

- *The application, as set forth, aligns with all relevant principles and frameworks. George Municipality should consider the application within the prescribed timeframes and follow due process in an efficient manner. Public participation must – and will be transparent regarding the relevant policies and legislation, as procedures should be clear to inform and empower members of the public regarding new developments.*

5.1.2 Public Interest

The neighbouring properties will not be adversely affected by the proposed development. Existing boundary walls separate the subject property from adjoining properties, thereby maintaining privacy between landowners while also providing a degree of noise reduction. Furthermore, the proposed development does not involve an increase in building height, as the existing structures will merely be renovated and converted into office accommodation. As a result, no additional overlooking of neighbouring properties will occur, and access to sunlight for the adjoining properties will remain unaffected. All the properties adjacent to the property in Merriman Street are already businesses.

The proposed development may result in temporary visual disturbance during the renovation phase; however, upon completion, the upgraded buildings and site improvements will be compatible with the surrounding streetscape and the established character of the George CBD. The building lines are set at 0m thus no building line departures are being applied for. The impact on the southern neighbouring property is expected to be negligible, as a carport is already located along the common boundary. In addition, the proposed development will not create any significant safety concerns or fire hazards for neighbouring properties, as the site remains adequately accessible and the development does not introduce any unusual risks beyond those typically associated with office land uses.

5.1.3 Environmental Legislation

No listed activities as contemplated by the National Environmental Management Act, 1998 (as amended) (NEMA), are triggered by this application.

5.2 Land Use Planning Act (LUPA)

The development objectives entrenched in SPLUMA have been assimilated into the Western Cape Land Use Planning Act, 2014 (Act 3 of 2014) and set out a basis for the adjudication of land use planning applications in the province. It requires that local municipalities have due regard to at least the following when doing so:

- Applicable spatial development frameworks;
- Applicable structure plans;
- Land use planning principles referred to in Chapter VI (Section 59);
- The desirability of the proposed land use; and
- Guidelines that may be issued by the Provincial Minister regarding the desirability of proposed land use.

The land-use planning principles of LUPA (Section 59) are, in essence, the expansion of the five development principles of SPLUMA listed above. Spatial resilience and justice have very few associations with this application. The principles of sustainability, efficiency and good administration all have a relative bearing with regard to this application and have been included in the framework analysis.

5.2.1 Compliance/Consistency with Spatial Policy Directives

Section 19(1) and (2) of LUPA states that the following:

“(1) If a spatial development framework or structure plan specifically provides for the utilisation or development of land as proposed in a land use application or a land development application, the proposed utilisation or development is regarded as complying with that spatial development framework or structure plan;

(2) If a spatial development framework or structure plan does not specifically provide for the utilisation or development of land as proposed in a land use application or a land development application, but the proposed utilisation or development does not conflict with the purpose of the relevant designation in the spatial development framework or structure plan, the utilisation or

development is regarded as being consistent with that spatial development framework or structured plan.”

In view of the nature of this land use application and its location within George, this proposal is consistent with the GSDF.

5.2.2 Need and Desirability

The “need” for the proposed development arises from the opportunity to optimise the use of an underutilised property within a well-located urban area, while responding to current demand for additional office accommodation within the George CBD. The redevelopment of the existing structures will support the efficient use of existing municipal services and infrastructure, promote economic activity, and contribute to the continued intensification and revitalisation of the CBD in line with established planning policies and principles of sustainable urban development.

The concept of "desirability" in the land use planning context refers to the degree of acceptability of a proposed development or land use change, having regard to the applicable planning legislation, policies, development principles, and the broader public interest. Having considered the relevant statutory planning framework and the characteristics of the surrounding area, it is our opinion that the proposed rezoning application are desirable and will not result in any significant negative impacts. The subject property is located within the George CBD and is surrounded by a variety of business, commercial, and professional land uses. The proposed office use is therefore compatible with the existing character of the area and will not introduce a land use that is out of context with the surrounding environment.

The proposed development will make productive use of an existing property within a well-established and fully serviced urban area. No increase in building height or substantial expansion of the existing building footprint is proposed, and the existing structures will be renovated and adapted for office purposes. As a result, the development will not adversely affect neighbouring properties in terms of privacy, access to sunlight, or visual impact.

While minor temporary disturbance may occur during the renovation phase, the completed development will be in keeping with the existing streetscape and character of the CBD. Furthermore, the property is conveniently located along existing Go George public transport routes and has access to existing municipal engineering services, thereby supporting sustainable development principles and reducing reliance on private vehicles. The approval of the application will facilitate economic activity within the CBD, contribute to the continued vitality of the area, and enable the owner to utilise the property to its fullest potential.

6. CONCLUSION

We believe that the abovementioned principles, considerations and guidelines for this land use application for Erf 2542, George, satisfy the applicable legislation. As a result, it is trusted that this application can be finalised successfully.



DELAREY VILJOEN Pr. Pln

JUNE 2026

ANNEXURE 1

POWER OF ATTORNEY

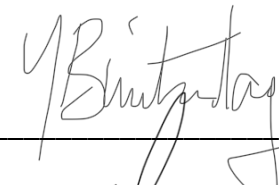
I, **Bianca Mangiarotti**, the undersigned and sole director of **TOWRO (PTY) LTD**, the registered owner of Erf 2542, George Municipality and Division hereby instruct Delarey Viljoen of *DELPLAN Consulting* to submit the land use application with the local authority.



B Mangiarotti

Date: **30-05-2026**

Witnesses:

1. 

2. 



Director Amendment Proposed Changes

Registration Number: 2021/154185/07
Enterprise Name: TOWRO (PTY) LTD

ENTERPRISE DETAILS

Registration Number: 2021/154185/07
Enterprise Name: TOWRO (PTY) LTD
Registration Date: 20/12/2021
Reference Number: 60010013296
Enterprise Type: PRIVATE COMPANY
Enterprise Status: IN BUSINESS
Tax Number: 9855030186

Addresses:	<u>POSTAL ADDRESS</u>	<u>ADDRESS OF REGISTERED OFFICE</u>
	SURFARI RESORT VICTORIA BAY STREET GEORGE WESTERN CAPE 6529	SURFARI RESORT VICTORIA BAY STREET GEORGE WESTERN CAPE 6529

DIRECTOR AMENDMENTS

Full Name	Director Type	ID Number/ Passport Number	Effective Date	Status	Address
ALEXANDRE JOSEPH GEORGES MANGIAROTTI	DIRECTOR	14DHXXXX4XX	18/12/2025	RESIGN	Postal Address: 840 BOULEVARD DE LA DUNE,HOSSEGOR, HOSSEGOR,CENTRE, 40150 Physical Address: 840 BOULEVARD DE LA DUNE,HOSSEGOR, HOSSEGOR,CENTRE, 40150

Physical Address
the dti Campus - Block F
77 Meintjies Street
Sunnyside 0001

Postal Address: Companies
P O Box 429
Pretoria
0001

Docex: 256
Web: www.cipc.co.za
Contact Centre: 086 100 2472(CIPC)
Contact Centre (International): +27 12 394 9573



2021/154185/07



60010013296



Director Amendment Proposed Changes

Registration Number: **2021/154185/07**

Enterprise Name: **TOWRO (PTY) LTD**

BIANCA MANGIAROTTI DIRECTOR 9311XXXX0XX089 18/12/2025 APPOINT

Postal Address:37 VICTORIA STREET, VICTORIA BAY, GEORGE, 0, 6529

Physical Address:37 VICTORIA STREET, VICTORIA BAY, GEORGE, 3362, 6529



Physical Address
the dti Campus - Block F
77 Meintjies Street
Sunnyside 0001

Postal Address: Companies
P O Box 429
Pretoria
0001

Docex: 256
Web: www.cipc.co.za
Contact Centre: 086 100 2472(CIPC)
Contact Centre (International): +27 12 394 9573



2021/154185/07



60010013296

ANNEXURE 2

1165

Chausse Inc t/a RVC Inc
Sable corner, 4th Floor
Century City
Cape Town
7446

Prepared by me

CONVEYANCER
HUGO NIEL HAMMAN (LPCM109512)

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R. 1 500 000.00	R. 1 738.00
Reason for exemption	Category Exemption.....	Exemption i t o. Sec/Reg..... Act/Proc.....

DATA / CAPTURE
05-05-2026
ELIZABETH VAN TONDER

T 000025377 / 2026

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT TARIQ FAEEZ FIGLAND
LPCM No. 95428

appeared before me, REGISTRAR OF DEEDS: WESTERN CAPE at CAPE TOWN,
the said appearer being duly authorised thereto by Powers of Attorney granted to
him/her by

The Executrix in the Estate Late
JOHANNES GERHARDUS KORF GENIS
Number 017637/2025

and

The Executrix in the Estate Late
JOHANNA CORNELIA GENIS
Number 017659/2025

which said Powers of Attorney were signed at CAPE TOWN on 13 FEBRUARY 2026

And the appearer declared that his/her said principal had, on 12 December 2025, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

TOWRO (PTY) LTD
Registration Number 2021/154185/07

or its Successors in Title or assigns, in full and free property

ERF 2542 GEORGE
IN THE MUNICIPALITY AND DIVISION GEORGE
WESTERN CAPE PROVINCE

IN EXTENT 928 (NINE HUNDRED AND TWENTY EIGHT) Square metres

FIRST TRANSFERRED by Deed of Transfer Number T 4649/1954 with Diagram No. 9368/1953 relating thereto and held by Deed of Transfer Number T101526/1997

A. **SUBJECT TO** the conditions as set out in Deed of Transfer no. T5734/1899 dated 18th July 1899.



WHEREFORE the said Appearer, renouncing all rights and title which the said

Joint Estate Late of the JOHANNES GERHARDUS KORF GENIS and subsequently deceased spouse JOHANNA CORNELIA GENIS, who were married in community of property to each other

heretofore had to the premises, did in consequence also acknowledge them to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

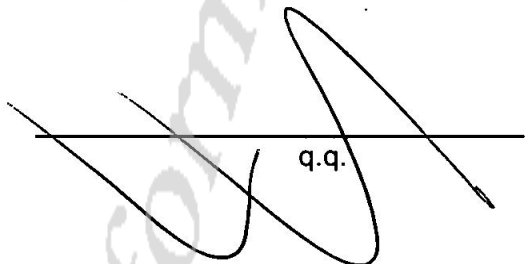
**TOWRO (PTY) LTD
Registration Number 2021/154185/07**

or its Successors in Title or assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of **R1 500 000,00 (ONE MILLION FIVE HUNDRED THOUSAND RAND)**.

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS: WESTERN CAPE at CAPE TOWN on

29 APR 2026


q.q.

In my presence


REGISTRAR OF DEEDS





1165

Chausse Inc t/a RVC Inc
Sable corner, 4th Floor
Century City
Cape Town
7446

Prepared by me



CONVEYANCER
HUGO NIEL HAMMAN (LPCM109512)

POWER OF ATTORNEY TO PASS TRANSFER

We, the undersigned

KAREN LOTTER AS NOMINEE OF SANLAM TRUST LIMITED, in my capacity as Executrix in the Estate Late JOHANNES GERHARDUS KORF GENIS, acting under Letters of Executorship Number 017637/2025 issued by the Master of the High Court of South Africa Western Cape Division, Cape Town at Cape Town on 18 November 2025

and

KAREN LOTTER AS NOMINEE OF SANLAM TRUST (PTY) LTD, in my capacity as Executrix in the Estate Late JOHANNA CORNELIA GENIS, acting under Letters of Executorship Number 017659/2025 issued by the Master of the High Court of South Africa Western Cape Division, Cape Town at Cape Town on 12 November 2025

do hereby nominate and appoint GRAHAM JOHN SONNENBERG (LPCM79408) and/or TARIQ FAEEZ FIGLAND (LPCM95428) and/or DANIELLE HINSCH (LPCM95206) and/or ROMAN VALYRE CHAUSSE (LPCM 38400) and/or SHANE FERENC BAUMANN (LPCM51029) and/or NATASCHA MASERAME SCHITTENHELM (LPCM39535) and/or ANDRI WILLIAMS (LPCM24197) and/or CHEYNA DE WIT (LPCM101850) and/or LIHLE LABABA (LPCM97431) and/or NOLWAZI MATHEBULA (LPCM76852) and/or TATENDA BENJAMIN CHIRORO (LPCM97496) and/or BAREND STEPHANUS BOTHA (LPCM106225) and/or VANESSA FABIANA DA SILVA CALDEIRA SABATTOLI (LPCM97470) and/or NELISHA PILLAY (LPCM77762) and/or HUGO NIEL HAMMAN (LPCM109512)

with power of substitution to be my true and lawful Attorney and Agent in my name, place and stead to appear at the Office of the REGISTRAR OF DEEDS: WESTERN CAPE at CAPE TOWN or any other competent official in the Republic of South Africa and then and there to act as my Attorney and Agent and

to pass transfer to:

TOWRO (PTY) LTD
Registration Number 2021/154185/07

Lexis® Convey 19.0.3.1



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2

MASTER OF THE HIGH COURT
CAPE TOWN
2026
A.M. DECEJ
MEESTER VAN DIE HOF

EIL Jyk yenis 17637/25

SERTIFIKAAT	CERTIFICATE
<p>Ek bevestig hiermee, in terme van Artikel 42(2), Wet No.66 van 1965, dat daar geen bewaar is teen transport soos hierin vermeld.</p>	<p>I hereby certify, in terms of Section 42(2), Act No.66 of 1965, that there is no objection to transfer as stated herein.</p>
<p>M. Kamee</p>	
<p>MEESTER VAN DIE HOË HOF MASTER OF THE HIGH COURT</p>	
<p>KAAPSTAD/CAPE TOWN 24/3/26 20</p>	

the property described as:

ERF 2542 GEORGE
IN THE MUNICIPALITY AND DIVISION GEORGE
WESTERN CAPE PROVINCE

IN EXTENT 928 (NINE HUNDRED AND TWENTY EIGHT) Square metres

HELD BY Deed of Transfer Number T101526/1997

the said property having been sold by us on 12 December 2025, to the said transferee/s for the sum of R1 500 000,00 (One Million Five Hundred Thousand Rand)

and further cede and transfer the said property in full and free property to the said Transferee; to renounce all right, title and interest which the Transferor heretofore had in and to the said property, to promise to free and warrant the said property and also to clear the same from all encumbrances and hypothecations according to law, to draw, sign and pass the necessary acts and deeds, or other instruments and documents; and generally, for effecting the purposes aforesaid, to do or cause to be done whatsoever shall be requisite, as fully and effectually, to all intents and purposes, as the Transferor might or could do if personally present and acting therein; hereby ratifying, allowing and confirming all and whatsoever the said Agent/s shall lawfully do or cause to be done in the premises by virtue of these presents.

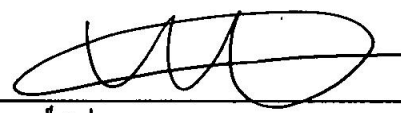

Signed at Cape Town on 13 February 2026 in the presence of the undersigned witnesses.


AS WITNESSES:

1.  _____  _____
 KAREN LOTTER AS NOMINEE OF
 SANLAM TRUST LIMITED
 Executrix

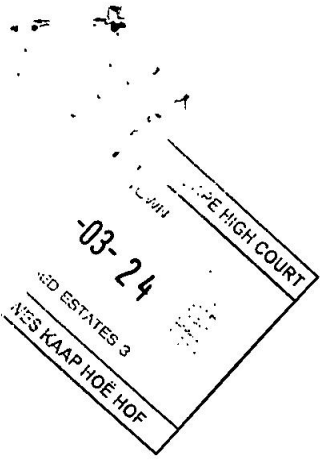
2.  _____

AS WITNESSES:

1.  _____  _____
 KAREN LOTTER AS NOMINEE OF SANLAM
 TRUST (PTY) LTD
 Executrix

2.  _____





For Inform... For Inform...

MASTER OF THE WESTERN CAPE HIGH COURT
CAPE TOWN
2026 -03- 24
A/M: DECEASED ESTATES 3
MEESTER VAN DIE WES KAAP HOË HOF

1165

Chausse Inc t/a RVC Inc
Sable corner, 4th Floor
Century City
Cape Town
7446

(3)

Prepared by me

CONVEYANCER
HUGO NIEL HAMMAN (LPCM109512)

POWER OF ATTORNEY TO PASS TRANSFER

We, the undersigned

KAREN LOTTER AS NOMINEE OF SANLAM TRUST LIMITED, in my capacity as Executrix in the Estate Late JOHANNES GERHARDUS KORF GENIS, acting under Letters of Executorship Number 017637/2025 issued by the Master of the High Court of South Africa Western Cape Division, Cape Town at Cape Town on 18 November 2025

and

KAREN LOTTER AS NOMINEE OF SANLAM TRUST (PTY) LTD, in my capacity as Executrix in the Estate Late JOHANNA CORNELIA GENIS, acting under Letters of Executorship Number 017659/2025 issued by the Master of the High Court of South Africa Western Cape Division, Cape Town at Cape Town on 12 November 2025

do hereby nominate and appoint GRAHAM JOHN SONNENBERG (LPCM79408) and/or TARIQ FAEZ FIGLAND (LPCM95428) and/or DANIELLE HINSCH (LPCM95206) and/or ROMAN VALYRE CHAUSSE (LPCM 38400) and/or SHANE FERENC BAUMANN (LPCM51029) and/or NATASCHA MASERAME SCHITTENHELM (LPCM39535) and/or ANDRI WILLIAMS (LPCM24197) and/or CHEYNA DE WIT (LPCM101850) and/or LIHLE LABABA (LPCM97431) and/or NOLWAZI MATHEBULA (LPCM76852) and/or TATENDA BENJAMIN CHIRORO (LPCM97496) and/or BAREND STEPHANUS BOTHA (LPCM106225) and/or VANESSA FABIANA DA SILVA CALDEIRA SABATTOLI (LPCM97470) and/or NELISHA PILLAY (LPCM77762) and/or HUGO NIEL HAMMAN (LPCM109512)

with power of substitution to be my true and lawful Attorney and Agent in my name, place and stead to appear at the Office of the REGISTRAR OF DEEDS: WESTERN CAPE at CAPE TOWN or any other competent official in the Republic of South Africa and then and there to act as my Attorney and Agent and

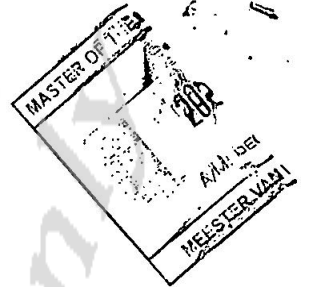
to pass transfer to:

TOWRO (PTY) LTD
Registration Number 2021/154185/07


Lexis® Convey 19.0.3.1

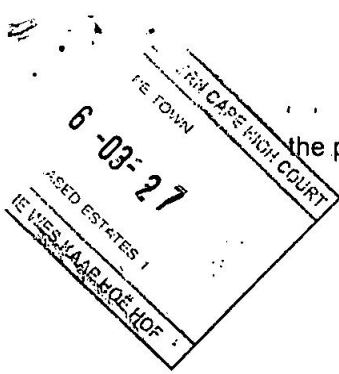
S.

(4)



EIL: JC Genis No: 17659/25

SERTIFIKAAT	GERTIFICATE
Ek bevestig hiermee, in terme van Artikel 42(2), Wvot No. 68 van 1965, dat daar geen beswaar is teen transport soos hierin vermeld.	I hereby certify, in terms of Section 42(2), Act No. 68 of 1965, that there is no objection to transfer as stated herein.
	
Asst. MEESTER VAN DIE HOË HOF MASTER OF THE HIGH COURT	
KAAPSTAD/CAPE TOWN.	27/03/26
	20



the property described as:

ERF 2542 GEORGE
IN THE MUNICIPALITY AND DIVISION GEORGE
WESTERN CAPE PROVINCE

IN EXTENT 928 (NINE HUNDRED AND TWENTY EIGHT) Square metres

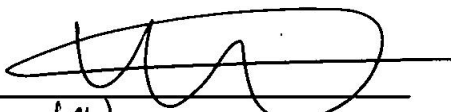

HELD BY Deed of Transfer Number T101526/1997

the said property having been sold by us on 12 December 2025, to the said transferee/s for the sum of R1 500 000,00 (One Million Five Hundred Thousand Rand)

and further cede and transfer the said property in full and free property to the said Transferee; to renounce all right, title and interest which the Transferor heretofore had in and to the said property, to promise to free and warrant the said property and also to clear the same from all encumbrances and hypothecations according to law, to draw, sign and pass the necessary acts and deeds, or other instruments and documents; and generally, for effecting the purposes aforesaid, to do or cause to be done whatsoever shall be requisite, as fully and effectually, to all intents and purposes, as the Transferor might or could do if personally present and acting therein; hereby ratifying, allowing and confirming all and whatsoever the said Agent/s shall lawfully do or cause to be done in the premises by virtue of these presents.

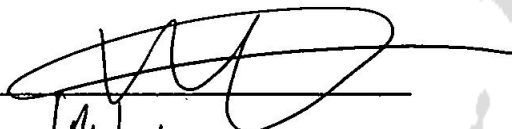
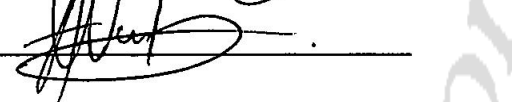
Signed at Cape Town on 13 February 2026 in the presence of the undersigned witnesses.

AS WITNESSES:

1. 
2. 


KAREN LOTTER AS NOMINEE OF
SANLAM TRUST LIMITED
Executrix

AS WITNESSES:

1. 
2. 


KAREN LOTTER AS NOMINEE OF SANLAM
TRUST (PTY) LTD
Executrix



Declaration

Reference Details

Transfer Duty Reference Number: TDE0694FA6

Details	
Details of Seller / Transferor / Time Share Company	
Surname / Registered Name ID Number Company / CC / Trust Reg No.	GENIS 017637/2025 4708185045089
Full Name Date of Birth (CCYYMMDD) Marital Status	ESTATE LATE JOHANNES GERHARDUS KORF 1947-08-18 NOT MARRIED
Details of Seller / Transferor / Time Share Company	
Surname / Registered Name ID Number Company / CC / Trust Reg No.	GENIS 017659/2025 4610050149089
Full Name Date of Birth (CCYYMMDD) Marital Status	ESTATE LATE JOHANNA CORNELIA 1946-10-05 NOT MARRIED
Details of Purchaser / Transferee	
Full Name Date of Birth (CCYYMMDD) Company / CC / Trust Reg No.	TOWRO (PTY) LTD 2021-12-20 202115418507
Surname / Registered Name ID Number Marital Notes if applicable	
Details of the Property	
Date of Transaction/Acquisition (CCYYMMDD) Total Fair Value	2025-12-12 R 1500000.00
Total Consideration	R 1500000.00
Calculation of Duty and Penalty / Interest	
Transfer Duty Payable on Natural Person	R 1500000.00
Property Description	
1	ERF 2542 GEORGE IN THE MUNICIPALITY AND DIVISION GEORGE WESTERN CAPE PROVINCE IN EXTENT 928 (NINE HUNDRED AND TWENTY EIGHT) Square metres

Receipt	
Receipt Details	
Transfer Duty Reference Number Receipt Amount	TDE0694FA6 R 8700.00
Receipt No.	1201302344

Declaration by Conveyancer / Attorney	
<p>I certify that this is a true copy of the transfer duty declaration / receipt / exemption certificate drawn from the SARS eFiling site, which will be retained by me for 5 years from the date of registration of transfer.</p>	<p>XXXXXXXXXX XXXXXXXXXX XXXXXXXXXX</p> <p>Please ensure you sign over the 2 lines of "X"s above</p> <p>HUGO NIEL HAMMAN (LPCM 109512)</p>
Date (CCYYMMDD)	20260414
For enquiries go to www.sars.gov.za or call 0800 00 SARS (7277)	

For Information

S

5

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GEORGE LOCAL MUNICIPALITY

CERTIFICATE IN TERMS OF SECTION 118 OF THE LOCAL GOVERNMENT: MUNICIPAL SYSTEMS ACT, 2000 (ACT No. 32 OF 2000)
(AS PRESCRIBED IN TERMS OF SECTION 120 OF ACT No. 32 OF 2000)
ISSUED BY GEORGE LOCAL MUNICIPALITY

In terms of section 118 of the Local Government: Municipal Systems Act, 2000 (Act No. 32 of 2000), it is hereby certified that all amounts that became due to George Local Municipality in connection with the undermentioned property situated within that municipality for municipal service fees, surcharges on fees, property rates and other municipal taxes, levies and duties during the two years preceding the date of application for this certificate, have been fully paid.

DESCRIPTION OF PROPERTY (see definition of property in section 1 of Act 32 of 2000)

21 Digit Code (or Municipal Reference Number): PATIENCE
Erven: 2542
Portion: 0
Extension: GEORGE
Zoning:
Registration division / Administrative District:
Suburb:
Town:
Sectional Title unit number:
Exclusive use area and number as referred to on the registered plan:
Real right:
Scheme registration number:
Sectional Title Scheme Name:
Registered owner: JOHANNES GERHARDUS KORF GENIS (4708185045089)
JOHANNA CORNELIA GENIS (4610050149089)
Name and Identity/ Registration Number of all purchaser/s: TOWRO (PTY) LTD (2021/154185/07)

This Certificate is valid until: ✓ 09/06/2026
Given under my hand at GEORGE on 10/04/2026

Digitally signed by George Municipality
Signee: Winnifred Kennedy
Sign date: 2026-04-10 08:02:56.895 AM
Expiration date: 12 Feb 2028



MUNICIPAL MANAGER
George Local Municipality

Date issued: 10/04/2026
Authorised Officer: Winnifred Kennedy

Certificate By Conveyancer:
I HUGO NIEL HAMMAN (LPCM 109512) (full name and surname) hereby certify that this is a print-out of a data message in respect of the original clearance certificate electronically issued by the George Local Municipality.

Conveyancer

14.04.2026
Date

S.

5

ANNEXURE 3

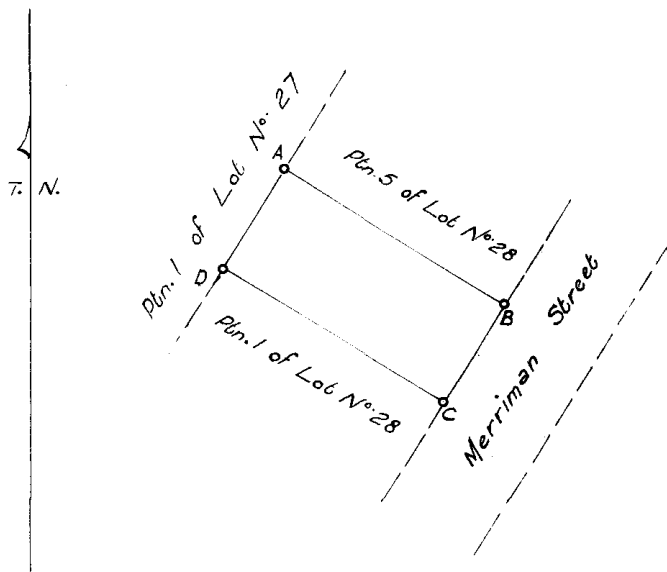
SUB-DIVISIONAL DIAGRAM,
 Made in accordance with Act No. 13 of 1927.

SIDES		ANGLES OF DIRECTION	SYSTEM Lo. CO-ORDINATES	
Cape	Feet		y	x
AB	144	A 90°		
BC	65	B 90		
CD	144	C 90		
DA	65	D 90		

No. 9368/53 ✓

Approved

Surveyor-General.
 20-3-1954



Beacons :- 1

A, B, C & D, iron pegs 18" long & 1/2" dia.
 * NOW LRI 2542

GEORGE

Scale 1/1000

The figure A B C D _____

represents 9360 Square feet of land being

— Portion 4 (a portion of Portion 2) of Lot No. 28 —
 situate in the Municipality and _____

Division of George _____

Province of Cape of Good Hope.

Surveyed in Oct 1953 by me

J. J. J. J.

Land Surveyor.

This diagram is annexed to
 D/T 4 649/54.

The original diagram is File No. S. 8715/97

No. 1558/1951 annexed to S.R. No. E. 2272/53.

D./T. 1952-137-6807. BL-7 DD/42 ✓ **S**

Registrar of Deeds.

B C
 Artaf, C.F.
NTB BL-7DD
 X.42

ANNEXURE 4

CONVEYANCER'S CERTIFICATE

I, the undersigned,

HUGO NIEL HAMMAN (LPCM 109512)

a practicing CONVEYANCER of Cape Town

hereby confirm that the undermentioned property:

**ERF 2542 GEORGE
IN THE MUNICIPALITY AND DIVISION GEORGE
WESTERN CAPE PROVINCE**

IN EXTENT 928 (NINE HUNDRED AND TWENTY EIGHT) Square metres

Held by Deed of Transfer Number T25377/2026

Owned by

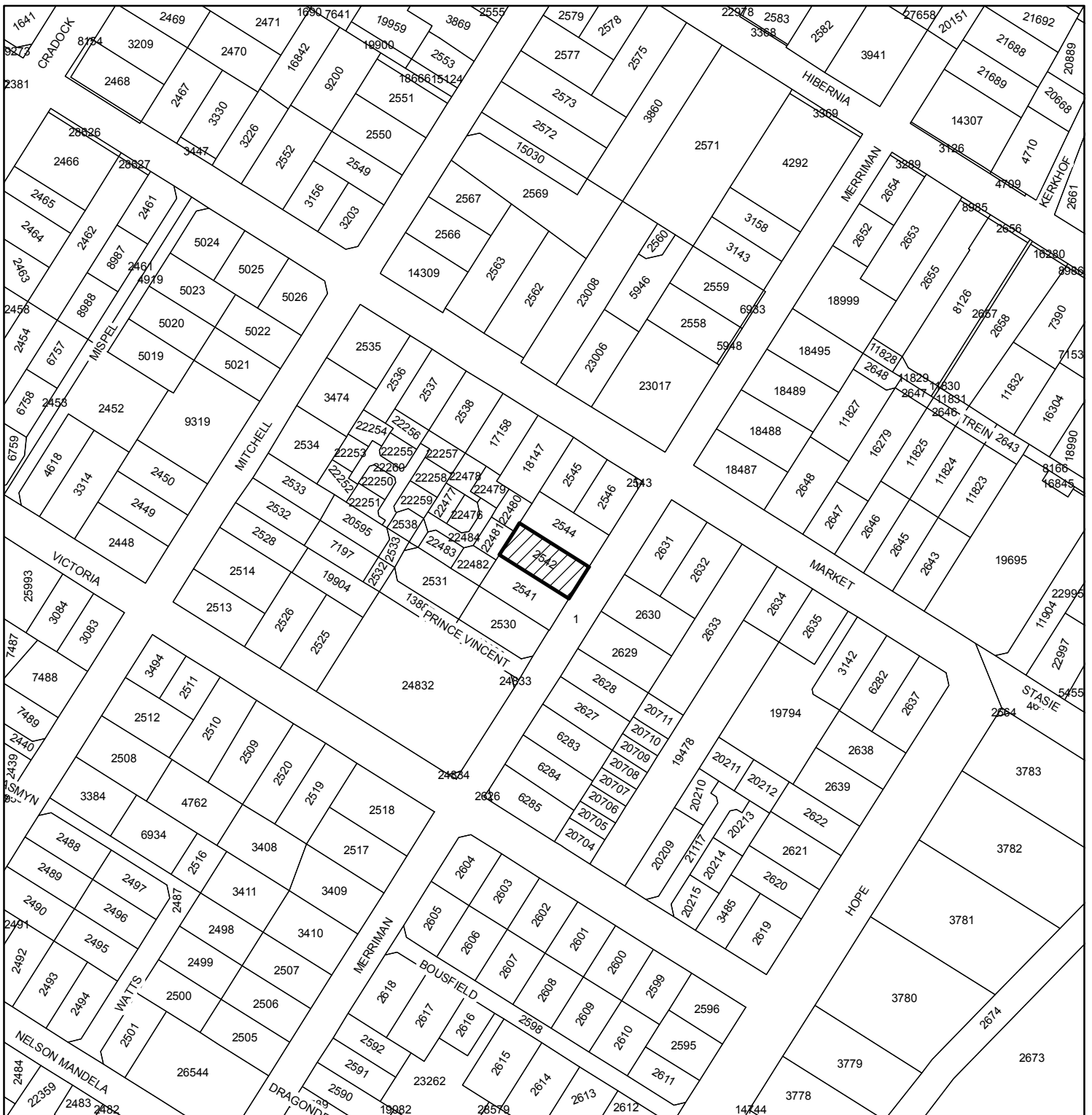
**TOWRO (PTY) LTD
Registration Number 2021/154185/07**

Does not have any restrictive conditions in the said Title Deed

SIGNED AT *Cape Town* on the *15th* of *June 2026*

CONVEYANCER
HUGO NIEL HAMMAN (LPCM 109512)

ANNEXURE 5



LEGEND:



A4 Scale:
1:3,000

PROJECT:

Proposed rezoning
for Towro (Pty) Ltd

PROJEK:

DESCRIPTION:

Erf 2542, George

BESKRYWING:

TITLE:

Locality plan

TITEL:

1503/GE0/26/GIS/Ligging

DESIGNED: SG
ONTWERP:

DRAWN: MV
GETEKEN:

DATE: JUNE 2026
DATUM:

PLAN NO: ANNEXURE 5
PLAN NR:

Tel: 044 873 4566, Email: planning@delplan.co.za
www.delplan.co.za



DELPLAN
CONSULTING

URBAN & REGIONAL PLANNERS

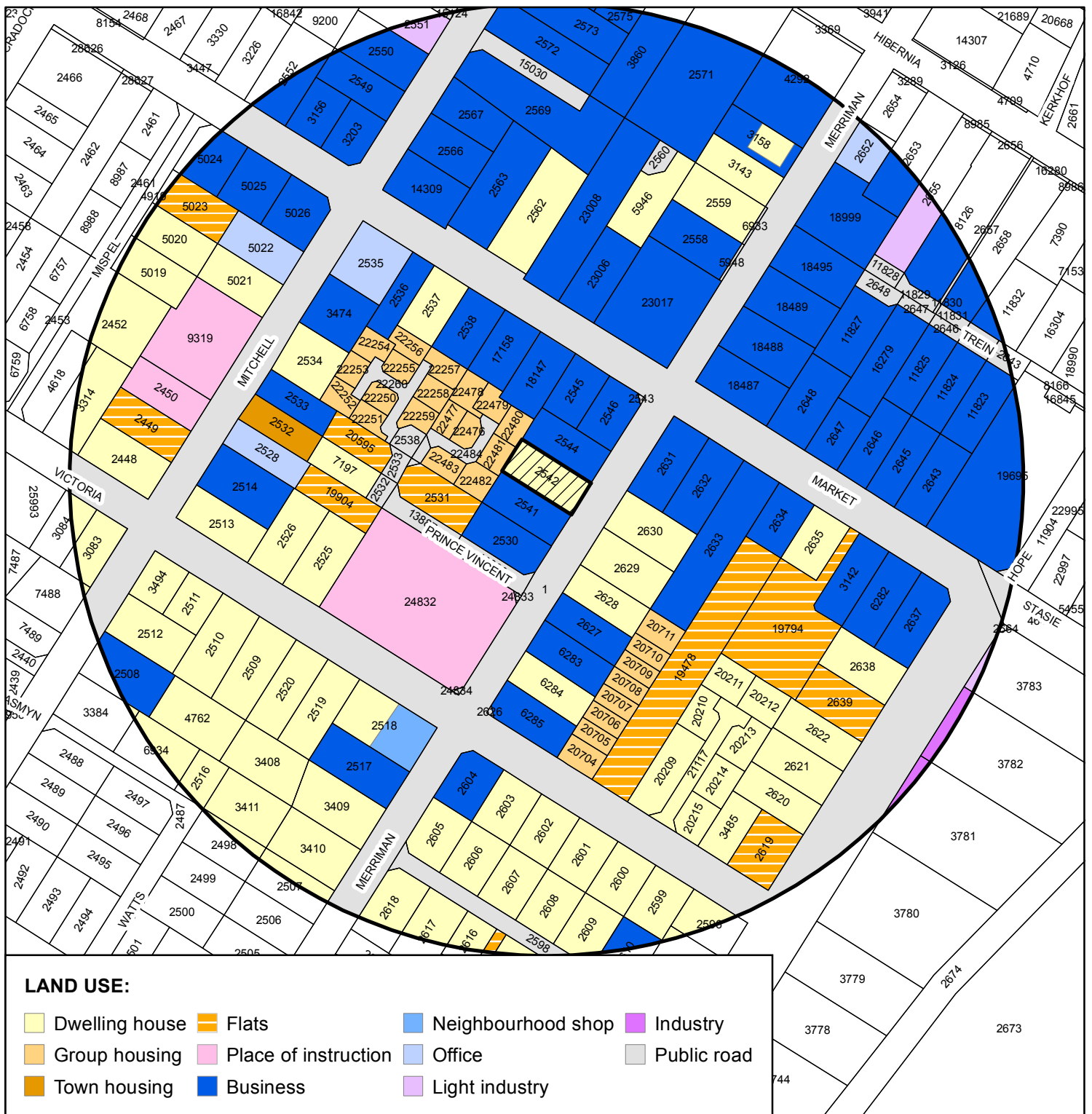
COPYRIGHT:

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KOPIEREG:

Die kopiereg van hierdie tekening behoort aan DELplan Consulting. Moenie daarvan afskaal nie, maar verwys na afstande soos aangedui. Alle afmetings moet deur 'n professionele Landmeter nagegaan en bevestig word. Enige teenstrydighede moet asseblief dadelik aan DELplan rapporteer word.

ANNEXURE 6



LAND USE:

- Dwelling house
- Flats
- Neighbourhood shop
- Industry
- Group housing
- Place of instruction
- Office
- Public road
- Town housing
- Business
- Light industry

LEGEND:



A4 Scale:
1:3,000

PROJECT:

Proposed rezoning
for Towro (Pty) Ltd

PROJEK:

DESCRIPTION:

Erf 2542, George

BESKRYWING:

TITLE:

Land use plan

TITEL:

1503/GEO/26/GIS/LandUse

DESIGNED: SG
ONTWERP:

DRAWN: MV
GETEKEN:

DATE: JUNE 2026
DATUM:

PLAN NO: ANNEXURE 6
PLAN NR:

Tel: 044 873 4566, Email: planning@delplan.co.za
www.delplan.co.za



DELPLAN
CONSULTING

URBAN & REGIONAL PLANNERS

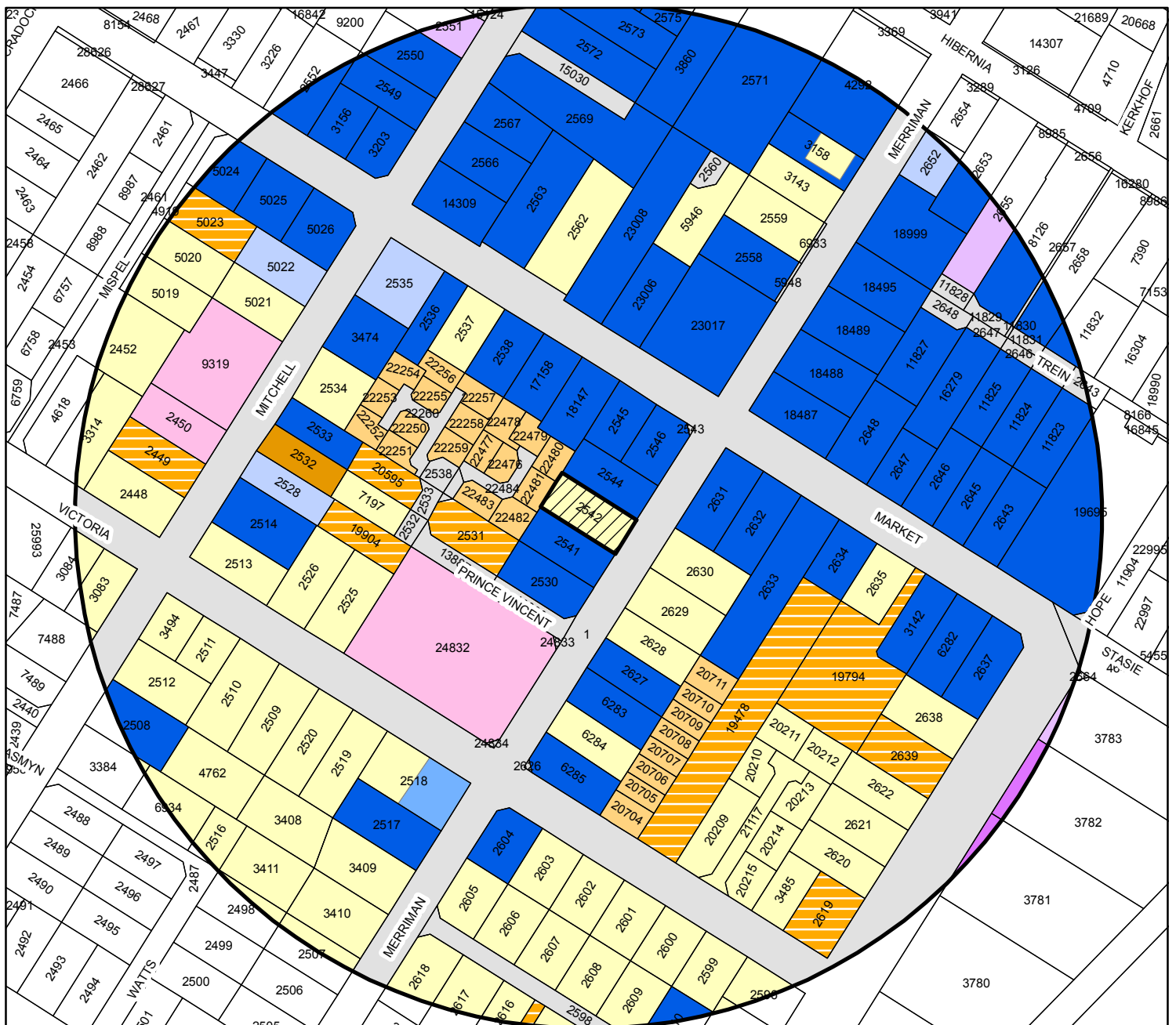
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ANNEXURE 7



CURRENT ZONING:

- Dwelling house
- Flats
- Neighbourhood shop
- Place of instruction
- Office
- Public road
- Town housing
- Business
- Light industry

LEGEND:



A4 Scale:
1:3,000

PROJECT:

Proposed rezoning
for Towro (Pty) Ltd

PROJEK:

DESCRIPTION:

Erf 2542, George

BESKRYWING:

TITLE:

Current zoning plan

TITEL:

1503/GEO/26/GIS/CurZon

DESIGNED: SG
ONTWERP:

DRAWN: MV
GETEKEN:

DATE: JUNE 2026
DATUM:

PLAN NO: ANNEXURE 7
PLAN NR:

Tel: 044 873 4566, Email: planning@delplan.co.za
www.delplan.co.za



DELPLAN
CONSULTING

URBAN & REGIONAL PLANNERS

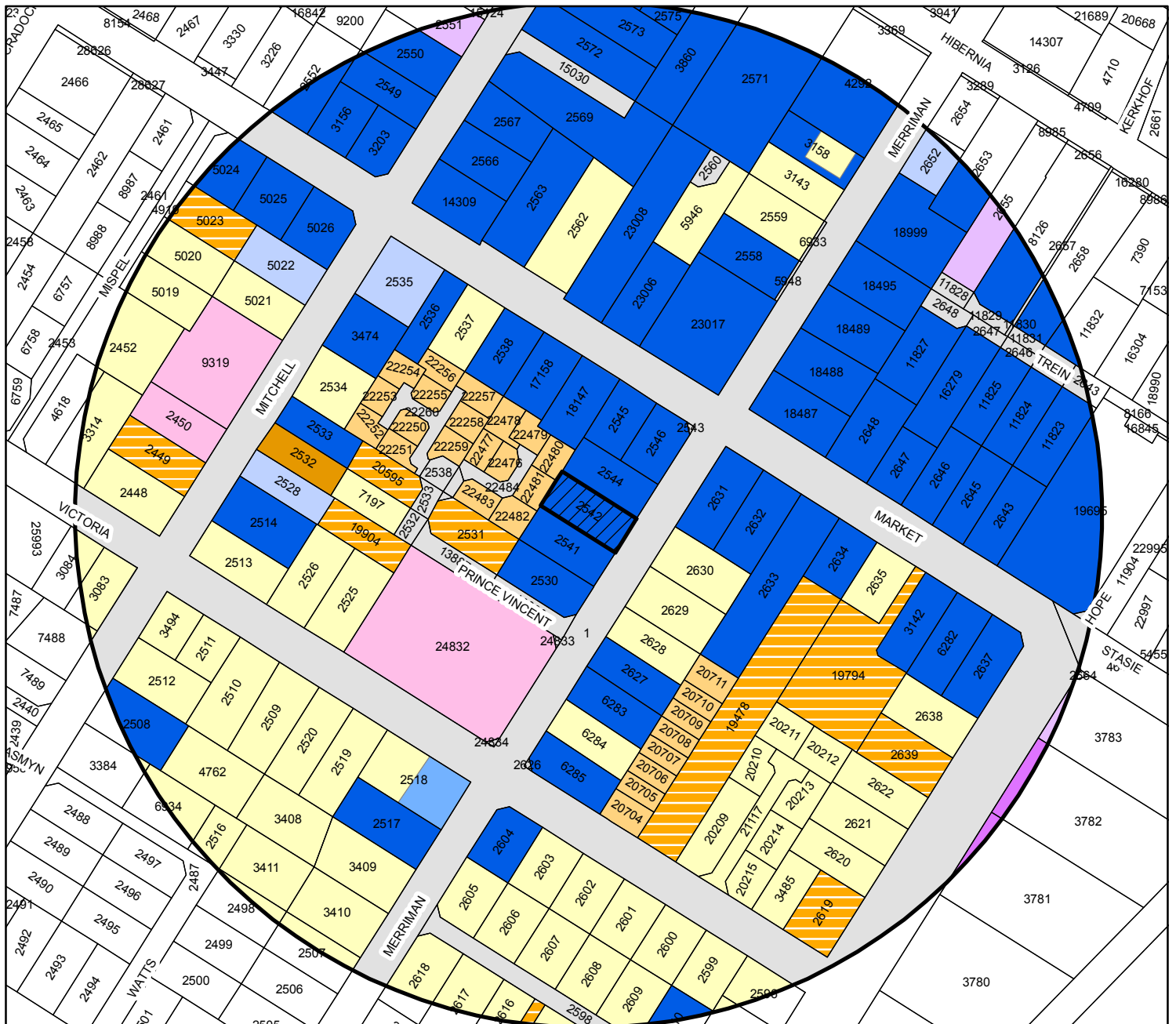
COPYRIGHT:

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KOPIEREG:

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ANNEXURE 8



PROPOSED ZONING:

- Dwelling house
- Flats
- Neighbourhood shop
- Industry
- Group housing
- Place of instruction
- Office
- Public road
- Town housing
- Business
- Light industry

LEGEND:



A4 Scale:
1:3,000

PROJECT:

Proposed rezoning
for Towro (Pty) Ltd

PROJEK:

DESCRIPTION:

Erf 2542, George

BESKRYWING:

TITLE:

Proposed zoning plan

TITEL:

1503/GEO/26/GIS/PropZon

DESIGNED: SG
ONTWERP:

DRAWN: MV
GETEKEN:

DATE: JUNE 2026
DATUM:

PLAN NO: ANNEXURE 8
PLAN NR:

Tel: 044 873 4566, Email: planning@delplan.co.za
www.delplan.co.za



DELPLAN
CONSULTING

URBAN & REGIONAL PLANNERS

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KOPIEREG:

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ANNEXURE 9



1. MUNICIPAL REQUIREMENTS AND THOSE OF OTHER AUTHORITIES MUST BE ADHERED TO.
2. POSITIONS OF BOUNDARY PEGS TO BE CERTIFIED BY REGISTERED LAND SURVEYOR. ALL DIMENSIONS AND LEVELS ON THE BUILDING SITE TO BE CHECKED BY THE CONTRACTOR ON SITE BEFORE COMMENCING WORK AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
3. ANY FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED MEASUREMENTS AND LARGE SCALE DETAILS SUPERSEDE SMALL SCALE DRAWINGS.
4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS SABS 0400 AND ALL REQUIREMENTS OF MUNICIPAL AND LOCAL AUTHORITIES CONCERNED. TO BE ADHERED TO.
5. ALL GLASS AREAS BIGGER THEN 1SQM AND AT A HEIGHT LESS THEN 500MM FROM FFL TO BE 6MM SAFETY GLASS.
6. ALL CAVITIES BELOW FLOOR LEVEL TO BE FILLED WITH CONCRETE AND DPC'S TO BE STEPPED.
7. THE DESIGN ON THIS DRAWING IS THE PROPERTY OF THE ARCHITECTS AND COPYRIGHT THEREOF IS RESERVED BY THEM.

WYSIGINGS/REVISIONS			
REV. VERW	DATE DATUM	WYSIGING REVISION	DRAWN BY GETEKEN DEUR
1	25/05/2026	GENERAL - Replace existing roofs with new etal roof acc. to specialist (pitch remains the same). - Replace all existing exterior door and windows with aluminum epoxy coated doors and windows. - Replace existing street boundary wall with a 1.5m high boundary wall. - Construct 2m High Wall at Office 2 - Interior walls constructed in Office 2 - WC added in Office 2 - Coffee station added in Office 2 - Paving added on erf.	

Summary of Areas:

Erf	928.3m ²
EXIST. BUILDING 1	121.02m ²
EXIST. BUILDING 2	93.93m ²
TOTAL FOOTPRINT (excl cov patios)	214.95m ²
EXIST. Covered Entrance	3.72m ²
TOTAL UNDERCOVER:	218.67m ²
Footprint area:	218.67m ²
Coverage %:	23.6%

BUITENDAG ARCHITECTURE
 DESIGN • INTERIOR • CONSTRUCTION
 ASSOCIATE ARCHITECT : DIANA BURGER
 REGISTRATION NUMBER: SACAP: Pr ARCH60231407
 CONTACT DETAILS: chanel@buitendagarch.co.za
 Tel: 0692012894

VICTORIA BAY ROAD
 P O BOX 9553
 Tel: 082 927 3048
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VICTORIA BAY
 GEORGE

CLIENT/KLIENT: Bianca Mangiarotti

T O W R O (P T Y) L T D

PROJECT/PROJEK:
PROPOSED ADDITIONS AND ALTERATIONS TO RESIDENCE, ERF 2542, MERRIMAN STREET GEORGE

DRAWING/TEKENING:		
SITE/ROOF PLAN		
SCALE/SKAAL: AS INDICATED	REF./VERW:	
DRAWN/GETEKEN: CK	COMPUTER NO./REKENAAR NR:	
DATE/DATUM: 2026/06/25	REV./WYS: 1	PROJECT NR./PROJEK NO. 2608_001

GENERAL

1. A Chemical temporary toilet for workmen to be provided before foundation excavations are inspected, in and offensive position and to be kept in an hygienic and odourless state.
2. All excavations to be protected by concrete or brickwork.
3. Open end of vent pipe to be min. 20m above any opening into building within a 5m radius. Stub vents to be fitted with an approved 2-way vent-valve.
4. All bends and junctions in sewer to be filled with i.e.'s all r.e.'s under paving to be fitted with marked covers. Drain under foundations to be protected and to comply with PRZL and to be fully accessible if under floors, with i.e.'s each end, otherwise clamped to wall.
5. All Sewer pipes to be min 450mm deep. Any sewer pipe not deeper than 450mm under ground level (L.L. -160mm) to be covered with a concrete slab, wide and strong enough to protect the sewer from damage by traffic and concrete.
6. The radius of the soil between pipe and concrete.
7. The vertical distance between the invert of the lowest branch point of connection of the stack and drain to be min. 500mm.
8. Where any waste and soil branches are connected to stack the centre line of the stack and drain to be min. 500mm.
9. Pipe Sizes:

Gradient (degrees)	Min.	Max.
40 dia : sinks, veg. basin, shower, whb	2.5	2.5
50 dia : washing machine, bath,	2.5	2.5
100 dia : to toilets	2.5	1.25
100 dia : to toilets	14	5
10. Sewer connections as shown with i.e. or manhole within 1.5m from connection.
11. Manhole to be built at municipal sewer connection.
12. Gully to be 150mm ANGL or 50mm AFGL

ROOF - SHEETS AND TRUSSES
 As detailed on 1:50 Section drawings.
 1. Grade 4 timber sizes below:

Span	Grade	Rafter	Tie beam
Span to 4.7m	4	38x114	38x114
Span to 5.9m	4	38x114	38x114
Span to 6.5m	4	38x114	38x114
Span to 6.5m	6	38x114	38x152
Span to 10.0m	6	38x152	38x228

2. All web members to be at least 38x114, Grade 4 timber, with bays of equal lengths not greater than 1.5m.
 3. All rafters and bracing to be provided to prevent buckling and to keep trusses upright.
 4. Flashing to all changes in roof levels, chimneys, parapets and any other projections.
 5. Valley and hip rafters to be Grade 6 50x230 S.A. Pine.
 6. All liminated timber will comply with SABS 676.

BRICKWORK & FOUNDATIONS

1. All loadbearing brickwork to be 280 cavity walls with brickforce provided every three layers.
2. All brickwork to be laid horizontally in walls & parapet, & vertical where there is a step floor.
3. DPC to be provided along windows, window sills as well as underneath the surfacelbed.
4. Min Foundation sizes (to be confirmed by Engineer):

Loadbearing 280mm or 220mm thick brick walls	800x350
220mm thick brick walls	750x300
110mm thick brick walls	600x250
450mm thick brick walls and three storey's brickwork	900x350
450x450mm columns	1000x1000x350
Round asbestos columns	1000x1000x350
6. Finished floor level to be min height of 150mm above finished ground level.
7. No foundation and/or building material to surpass erf boundary.

WINDOWS AND DOOR SCHEDULE

1. All windows & doors to be timber or aluminium as per schedule.
2. All doors as described in door schedule on plan.
3. All Glazing to comply with SANS 10137 & SANS 10400 Part N - Access doors and Stairlights, Windows lower than 500mm from floor, Windows lower than 1800mm above pitchline of stairs to be safety glass and clearly indicated as such.
4. Shutters to be functional acc. to architectural guideline and to be epoxy powder coated aluminium of which the colour match the window frames.

STAIRS AND BALUSTRADES

1. Reinforced concrete staircase to engineers detail.
2. Treads min. 250mm
3. Risers max. 200mm
4. Balustrades 1050mm high from FFL with openings smaller than 100mm.

FINISHES

1. 6mm Rhino ceiling boards on 38x38mm branding at 400 c/c.
2. Smooth plaster on inside and outside.
3. Plastered external and Timber internal window sills.
4. Painting: internal ceilings: one filler coat and two coats of PVA. external walls: one filler coat and two coats PVA. doors and windows: two coats weather proof PVA exposed timber: two coats varnish.

SITE/ROOF PLAN

1:100

- MUNICIPAL REQUIREMENTS AND THOSE OF OTHER AUTHORITIES MUST BE ADHERED TO.
- POSITIONS OF BOUNDARY PEGS TO BE CERTIFIED BY REGISTERED LAND SURVEYOR. ALL DIMENSIONS AND LEVELS ON THE BUILDING SITE TO BE CHECKED BY THE CONTRACTOR ON SITE BEFORE COMMENCING WORK AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- ANY FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED MEASUREMENTS AND LARGE SCALE DETAILS SUPERSEDE SMALL SCALE DRAWINGS.
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS SABS 0400 AND ALL REQUIREMENTS OF MUNICIPAL AND LOCAL AUTHORITIES CONCERNED. TO BE ADHERED TO.
- ALL GLASS AREAS BIGGER THEN 1500MM AND AT A HEIGHT LESS THEN 500MM FROM FFL TO BE 6MM SAFETY GLASS.
- ALL CAVITIES BELOW FLOOR LEVEL TO BE FILLED WITH CONCRETE AND DPC'S TO BE STEPPED.
- THE DESIGN ON THIS DRAWING IS THE PROPERTY OF THE ARCHITECTS AND COPYRIGHT THEREOF IS RESERVED BY THEM.

WYSIGINGS/REVISIONS

REV. NO.	DATE	WYSIGING REVISION	DRAWN BY
1	25/05/2026	GENERAL - Replace existing roof with new etal roof acc. to specialist (pitch remains the same). - Replace all existing exterior door and windows with aluminium epoxy coated doors and windows. - Replace existing street boundary wall with a 1.5m high boundary wall. - Construct 2m High Wall at Office 2 - Interior walls constructed in Office 2 - WC added in Office 2 - Coffee station added in Office 2 - Paving added on erf.	GETEKEN DEUR

Summary of Areas:

Erf	928.3m ²
EXIST. BUILDING 1	121.02m ²
EXIST. BUILDING 2	93.93m ²
TOTAL FOOTPRINT (excl cov patios)	214.95m ²
EXIST. Covered Entrance	3.72m ²
TOTAL UNDERCOVER:	218.67m ²
Footprint area:	218.67m ²
Coverage %:	23.6%

BUITENDAG ARCHITECTURE
DESIGN • INTERIOR • CONSTRUCTION

ASSOCIATE ARCHITECT : DIANA BURGER
REGISTRATION NUMBER: SACAP: Pr ARCH60231407
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VICTORIA BAY ROAD
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Tel: 082 927 3048
e-mail: yvette.buitendag@gmail.com

CLIENT/KLIENT: Bianca Mangiarotti

T O W R O (P T Y) L T D

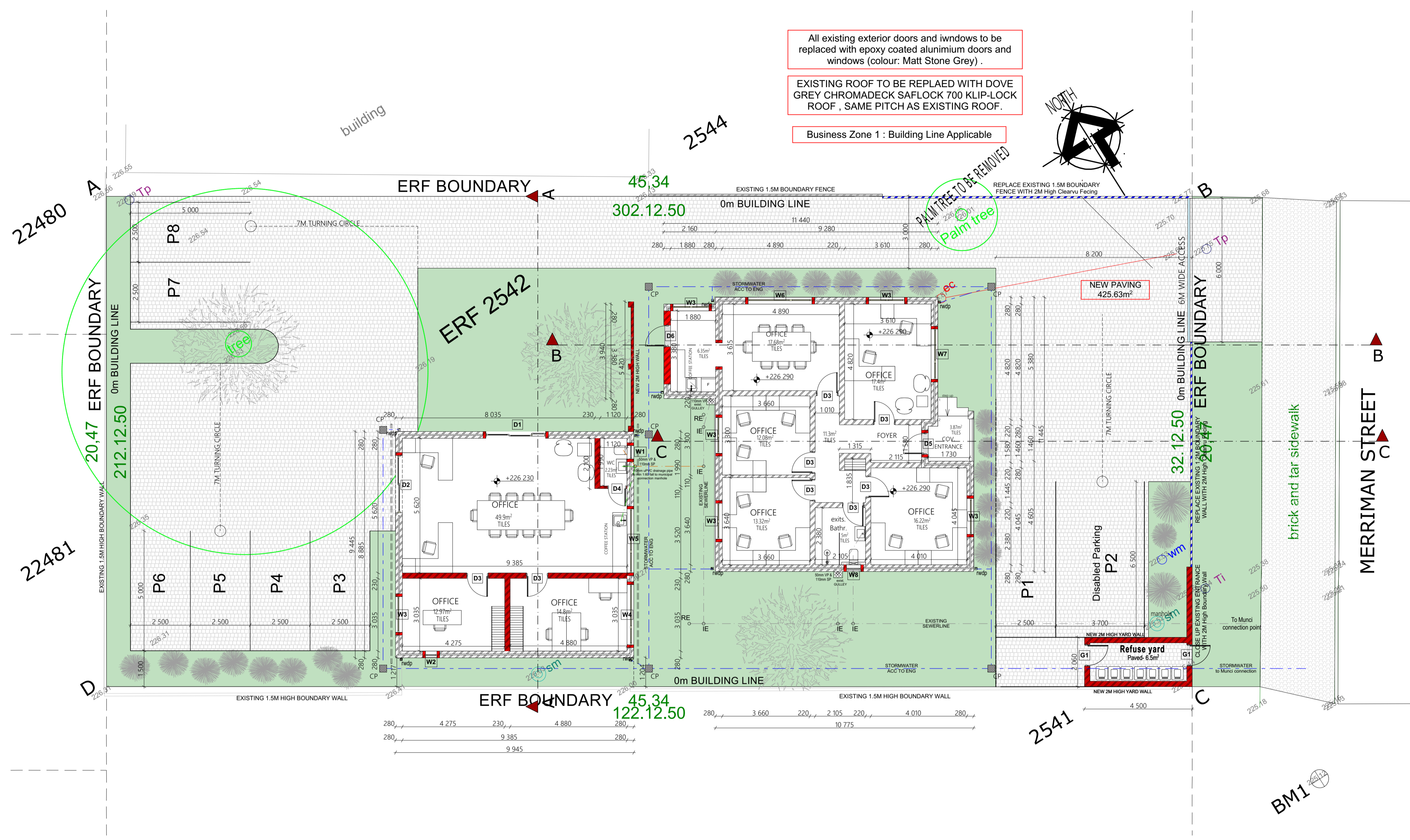
PROJECT/PROJEK:
PROPOSED ADDITIONS AND ALTERATIONS TO RESIDENCE, ERF 2542, MERRIMAN STREET GEORGE

DRAWING/TEKENING:
GROUND FLOOR PLAN

SCALE/SKAAL:
AS INDICATED

DRAWN/GETEKEN:
CK

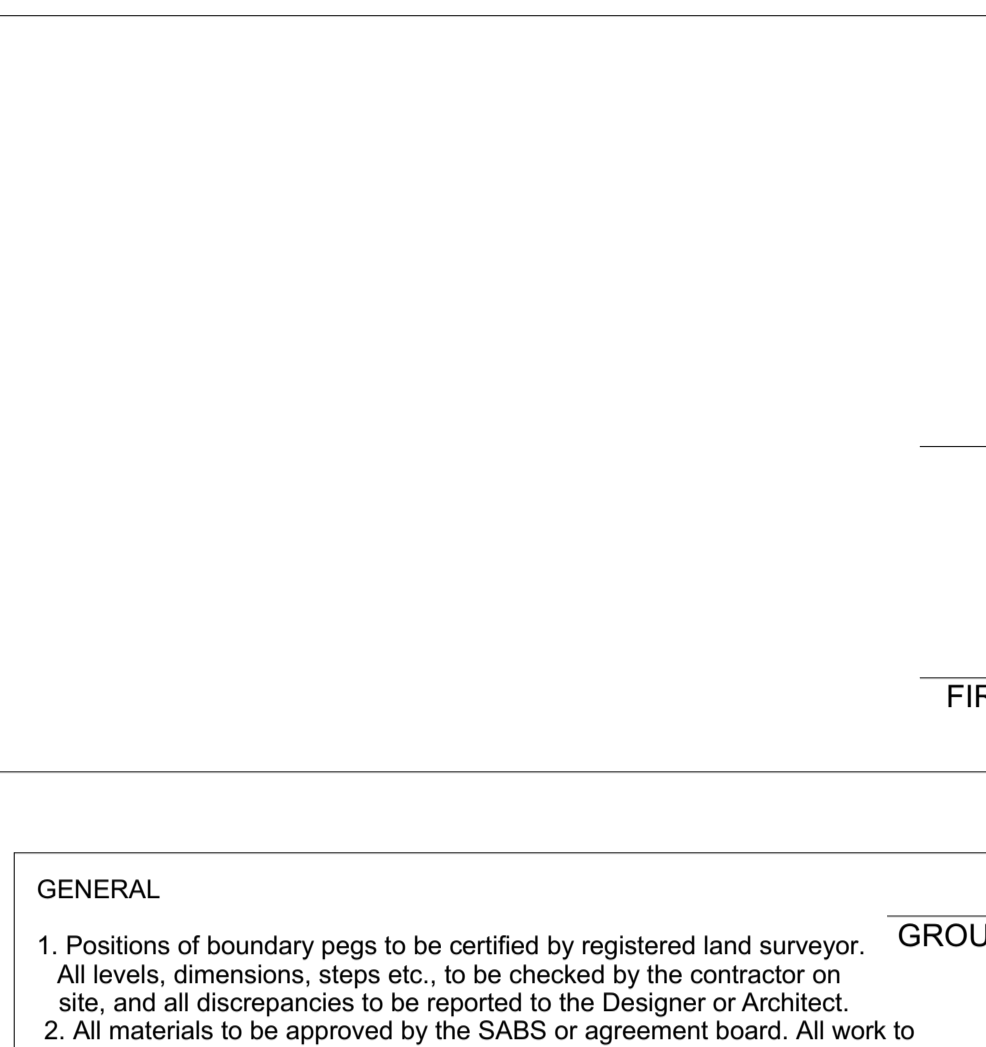
DATE/DATUM:	REV./WYS:	PROJECT NR./ PROJEK NR.
2026/06/25	1	2608_100



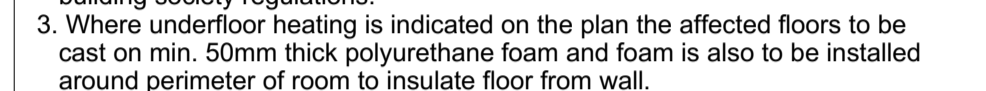
GROUND FLOOR

1:100

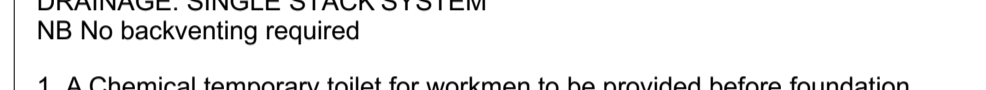
- GENERAL**
- Positions of boundary pegs to be certified by registered land surveyor. All levels, dimensions, steps etc., to be checked by the contractor on site, and all discrepancies to be reported to the Designer or Architect.
 - All materials to be approved by the SABS or agreement board. All work to comply with the National Building Regulation, the applicable SABS codes & standards.
 - Where underfloor heating is indicated on the plan the affected floors to be cast on min. 50mm thick polystyrene foam and form is also to be installed around perimeter of room to insulate floor from wall.
- DRAINAGE - SINGLE STACK SYSTEM**
NB No back-siphoning required
- A Chemical temporary toilet for workmen to be provided before foundation excavations are inspected, in and inoffensive position and to be kept in a hygienic and odorless state.
 - Minimum fall 1:60, maximum fall 1:10.
 - Open end of vent pipe to be min. 200mm above any opening into building within a 5m radius. Stub vents to be fitted with an approved 2-way vent-valve.
 - All bends and junctions in sewer to be filled with i.e.'s all r.e.'s under paving to be fitted with marked covers. Drain under foundations to be protected and to comply with PR24, and to be fully accessible if under floors, with i.e.'s each end, otherwise clamped to wall.
 - All Sewer pipes to be min 450mm deep. Any sewer pipe not deeper than 450mm under ground level (L.L. -160mm) to be covered with a concrete slab, wide and strong enough to protect the sewer from damage.
 - The radius of the discharge stack shall be not less than 300mm & other bends 600mm.
 - The vertical distance between the invert of the lowest branch point of connection of the stack and drain to be min. 500mm.
 - Where any waste and soil branches are connected to stack the centre line of the stack and soil branches to be spaced with 200mm between the centre line of the soil branch, all waste branches to connect separately to the stack.
 - Pipe Sizes:
40 dia : sinks, veg. basin, shower, whb
40 dia : washing machine, bath,
wash trough, dishwasher
100 dia : toilets
combined wastes to be min. 50mm and vents to toilets 100 dia.
 - All Sewer connections shown with i.e. or manhole within 1.5m from connection.
 - Manhole to be built at municipal sewer connection.
 - Gully to be 150mm ANGL or 50mm AFGL.
- ROOF - SHEETS AND TRUSSES**
As detailed on 1:50 Section Drawings.
- Grade 4 timber sizes below:
- | Grade | Rafter | Tie beam |
|---------------|--------|----------|
| Span to 4.7m | 38x114 | 38x114 |
| Span to 5.9m | 38x114 | 38x114 |
| Span to 6.5m | 38x114 | 38x152 |
| Span to 8.5m | 38x114 | 38x152 |
| Span to 10.0m | 38x152 | 38x228 |
- All web members to be at least 38x114, Grade 4 timber, with bays of equal lengths not greater than 1.5m.
 - Members and bracing to be provided to prevent buckling and to keep trusses upright.
 - Flashing to all changes in roof levels, chimneys, parapets and any other projections.
 - Valley and hip rafters to be Grade 6 50x250 S.A. Pine.
 - All limited timber will comply with SABS 076.
- BRICKWORK & FOUNDATIONS**
- All loadbearing brickwork to be 280 cavity walls with brickforce provided every three layers.
 - To be provided horizontally in walls & parapet, & vertical where there is a step floor.
 - DPC to be provided along windows, window sills as well as underneath the surfacelab.
 - Min Foundation sizes (to be confirmed by Engineer):
Loadbearing 280mm or 220mm thick brick walls
800x350
220mm thick brick walls
750x300
110mm thick brick walls
600x250
450mm thick brick walls and three storey's brickwork
900x350
450x450mm columns
Round asbestos columns
1000x1000x350
1000x1000x350
 - Finished floor level to be min height of 150mm above finished ground level.
 - No foundation and/or building material to surpass erf boundary.
- WINDOWS AND DOOR SCHEDULE**
- All windows & doors to be timber or aluminium as per schedule.
 - All doors as described in door schedule on plan.
 - All Glazing to comply with SANS 10137 & SANS 10400 Part N - Access doors and Stairgates, Windows lower than 500mm from floor, Windows lower than 1800mm above pitchline of stairs to be safety glass and clearly indicated as such.
 - Stairgates to be functional acc. to architectural guideline and to be epoxy powder coated aluminium of which the colour match the window frames.
- STAIRS AND BALUSTRADES**
- Reinforced concrete staircase to engineers detail.
 - Treads min. 250mm
 - Risers max. 200mm
 - Balustrades 1050mm high from FFL with openings smaller than 100mm.
- FINISHES**
- 6mm Rhino ceiling boards on 38x38mm bracing at 400 c/c.
 - Smooth plaster on inside and outside.
 - Plastered external and Timber internal window sills.
 - Painting: internal ceilings: one filler coat and two coats of PVA. external walls: one filler coat and two coats PVA. doors: two coats weather proof PVA. exposed timber: two coats varnish.



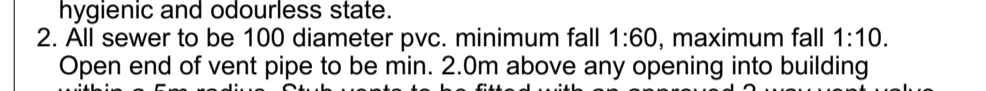
EAST ELEVATION 1:100



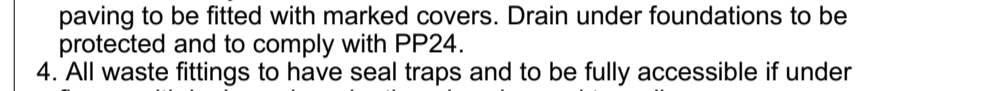
NORTH ELEVATION 1:100



SOUTH ELEVATION 1:100



EAST ELEVATION OFFICE 2 1:100



WEST ELEVATION OFFICE 1 1:100

GENERAL

- Positions of boundary pegs to be certified by registered land surveyor. All levels, dimensions, steps etc., to be checked by the contractor on site, and all discrepancies to be reported to the Designer or Architect.
- All materials to be approved by the SABS or agreement board. All work to comply with the National Building Regulation, the applicable SABS codes & building society regulations.
- Where underfloor heating is indicated on the plan the affected floors to be cast on min. 50mm thick polyurethane foam and foam is also to be installed around perimeter of room to insulate floor from wall.

DRAINAGE, SINGLE STACK SYSTEM
NB No backventing required

- A Chemical temporary toilet for workmen to be provided before foundation excavations are inspected, in and inoffensive position and to be kept in an hygienic and odourless state.
- All sewer to be 100 diameter pvc, minimum fall 1:60, maximum fall 1:10. Open end of vent pipe to be min. 2.0m above any opening into building within a 5m radius. Stub vents to be fitted with an approved 2-way vent-valve.
- All bends and junctions in sewer to be fitted with i.e.'s all r.e.'s under paving to be fitted with marked covers. Drain under foundations to be protected and to comply with PP24.
- All waste fittings to have seal traps and to be fully accessible if under floors, with i.e.'s each end, otherwise clamped to wall.
- All Sewer pipes to be min 450mm deep. Any sewer pipe not deeper than 450mm under ground level (i.e. -160mm) to be covered with a concrete slab, wide and strong enough to protect the sewer with min 100mm soil between pipe and concrete.
- The radius at the centre line of bend at the floor of the discharge stack shall be not less than 300mm & other bends 600mm.
- The vertical distance between the invert of the lowest branch point of connection of the stack and drain to be min. 500mm.
- Where any waste and soil branches are connected to stack the centre line of the waste branch shall not intersect the stack within 200mm below the centre line of the soil branch, all waste branches to connect separately to the stack.
- Pipe Sizes:

	Gradient (degrees)	Max.	Min.
40 dia : sinks, veg, basin, shower, whb		2.5	1.2.5
40 dia : bidet		5	2.5
50 dia : washing machine, bath, washtrough, dishwasher		2.5	1.25
100 dia : to toilets		14	5

- combined wastes to be min. 50mm and vents to toilets 100 dia.
- Sewer connection: as shown with i.e. or manhole within 1,5m from connection.
- Manhole to be built at municipal sewer connection.
- Gully to be 150mm ANGL or 50mm AFGL

ROOF : SHEETS AND TRUSSES
As described on 1:50 Section drawings.

- Grade 4 timber sizes below:

Span	Grade	Rafter	Tie beam
Span to 4,7m	4	38x114	38x114
Span to 5,9m	4	38x114	38x114
Span to 7,2m	4	38x152	38x228
Span to 8,5m	6	38x114	38x152
Span to 10,0m	6	38x152	38x228

- All web members to be at least 38x114, Grade 4 timber, with bays of equal lengths not greater than 1,5m
- Approved bracing to be provided to prevent buckling and to keep trusses upright.
- Flashing to all changes in roof levels, chimneys, parapets and any other projections.
- Valley and hip rafters to be Grade 6 50x230 S.A.Pine.
- All laminated timber will comply with SABS 876.

BRICKWORK & FOUNDATIONS

- All loadbearing brickwork to be 280 cavity walls with brickforce provided every three layers.
- DPC to be provided horizontally in walls & parapet, & vertical where there is a step in floor level.
- DPC to be provided along windows, window sills as well as underneath the surfacebed.
- Min Foundation sizes (to be confirmed by Engineer):

Loadbearing 280mm or 220mm thick brick walls	800x350
220mm thick brick walls	750x300
110mm thick brick walls	600x250
450mm thick brick walls and three storey's brickwork	900x350
450x450mm columns	1000x1000x350
Round asbestos columns	1000x1000x350

- Finished floor level to be min height of 150mm above finished ground level.
- No foundation and/or building material to surpass erf boundary.

WINDOWS AND DOOR SCHEDULE

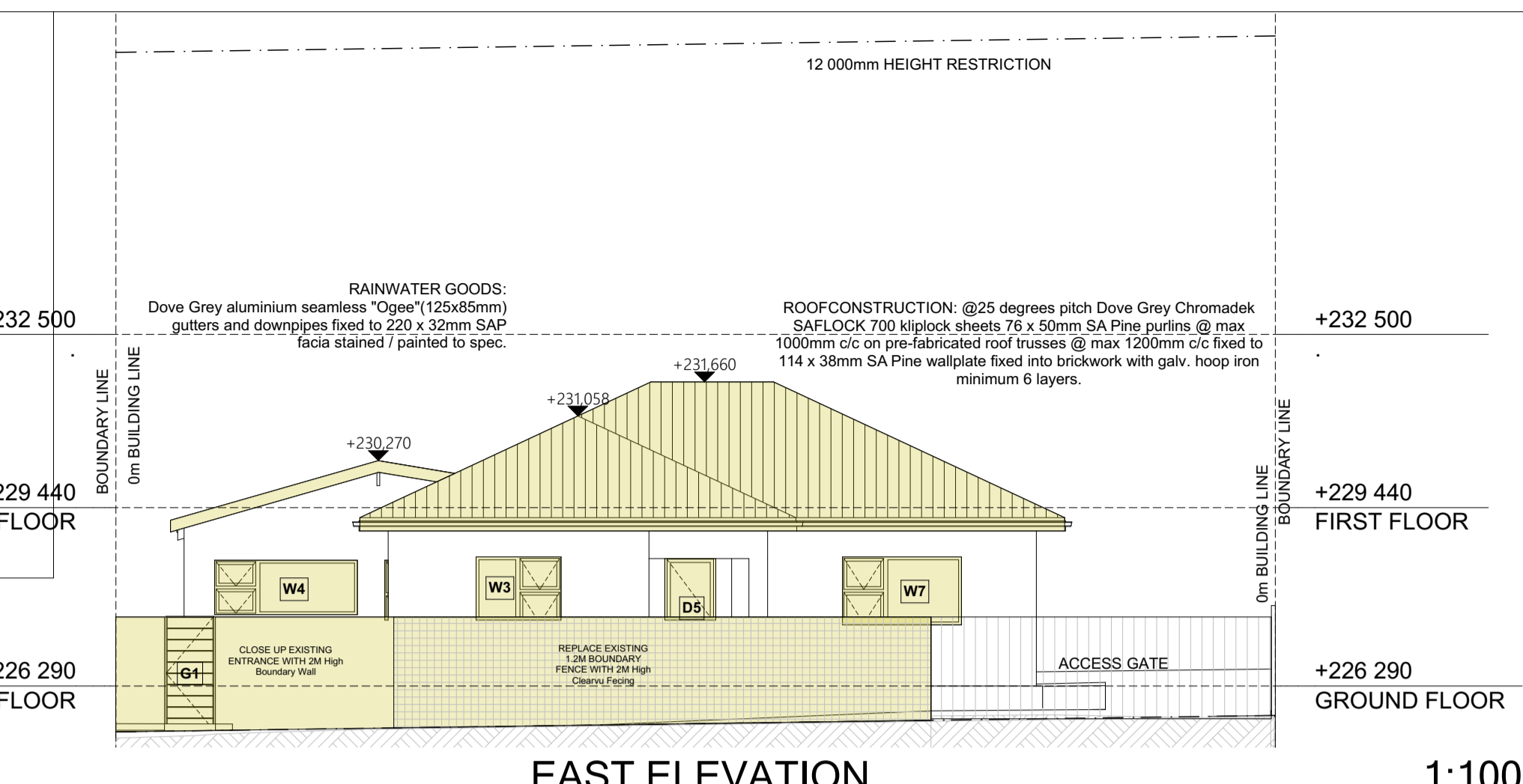
- All windows & doors to be timber or aluminium as per schedule.
- All doors as described in door schedule on plan.
- All Glazing to comply with SANS 10137 & SANS 10400 Part N - Access doors and Sidelights, Windows lower than 500mm from floor, Windows lower than 1800mm above pitchline of stairs to be safety glass and clearly indicated as such on eye level.
- Shutters to be functional acc. to architectural guideline and to be epoxy powder coated aluminium of which the colour match the window frames.

STAIRS AND BALUSTRADES

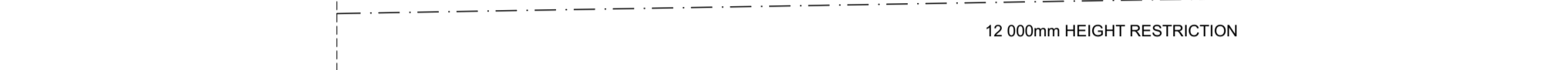
- Reinforced concrete staircase to engineers detail.
- Treads min. 250mm
- Risers max. 200mm
- Balustrades 1050mm high from FFI with openings smaller than 100mm.

FINISHES

- 6mm Rhino ceiling boards on 38x38mm brandering at 400 c/c.
- Smooth plaster inside and outside.
- Plastered external and Timber internal window sills.
- Painting: internal ceilings: one filler coat and two coats of PVA. internal walls: one filler coat and two coats PVA. external walls: one primer coat and two coats weather proof PVA exposed timber : two coats varnish.



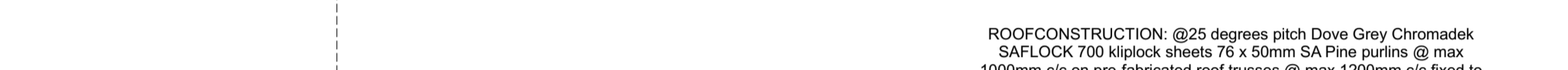
EAST ELEVATION 1:100



NORTH ELEVATION 1:100



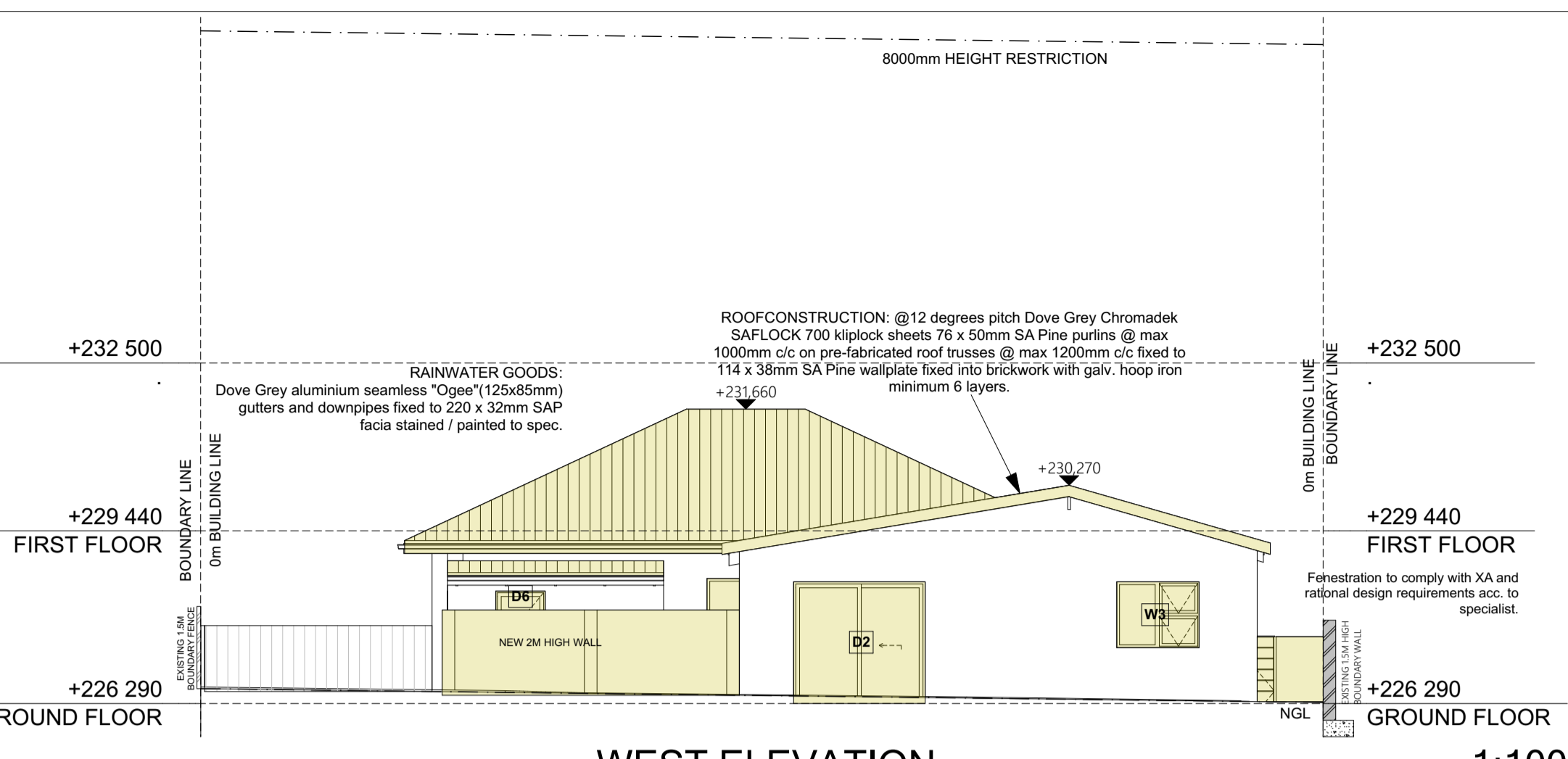
SOUTH ELEVATION 1:100



EAST ELEVATION OFFICE 2 1:100



WEST ELEVATION OFFICE 1 1:100



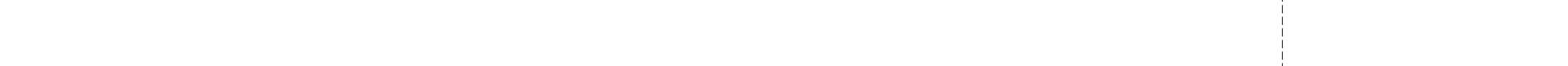
WEST ELEVATION 1:100



NORTH ELEVATION 1:100



SOUTH ELEVATION 1:100



EAST ELEVATION OFFICE 2 1:100



WEST ELEVATION OFFICE 1 1:100

- MUNICIPAL REQUIREMENTS AND THOSE OF OTHER AUTHORITIES MUST BE ADHERED TO.
- POSITIONS OF BOUNDARY PEGS TO BE CERTIFIED BY REGISTERED LAND SURVEYOR. ALL DIMENSIONS AND LEVELS ON THE BUILDING SITE TO BE CHECKED BY THE CONTRACTOR ON SITE BEFORE COMMENCING WORK AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- ANY FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED MEASUREMENTS AND LARGE SCALE DETAILS SUPERSEDE SMALL SCALE DRAWINGS.
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS SABS 0400 AND ALL REQUIREMENTS OF MUNICIPAL AND LOCAL AUTHORITIES CONCERNED. TO BE ADHERED TO.
- ALL GLASS AREAS BIGGER THAN 190MM AND AT A HEIGHT LESS THEN 500MM FROM FFL TO BE 6MM SAFETY GLASS.
- ALL CAVITIES BELOW FLOOR LEVEL TO BE FILLED WITH CONCRETE AND DPC'S TO BE STEPPED.
- THE DESIGN ON THIS DRAWING IS THE PROPERTY OF THE ARCHITECTS AND COPYRIGHT THEREOF IS RESERVED BY THEM.

WYSIGINGS/REVISIONS

REV. NO.	DATE	WYSIGING/REVISION	DRAWN BY
1	25/05/2026	GENERAL - Replace existing roofs with new etal roof acc. to specialist (pitch remains the same). - Replace all existing exterior door and windows with aluminium epoxy coated doors and windows. - Replace existing street boundary wall with a 1.5m high boundary wall. - Construct 2m High Wall at Office 2 - Interior walls constructed in Office 2 - WC added in Office 2 - Coffee station added in Office 2 - Paving added on erf.	GETEKEN DEUR

Summary of Areas:

Erf	928.3m ²
EXIST. BUILDING 1	121.02m ²
EXIST. BUILDING 2	93.93m ²
TOTAL FOOTPRINT (excl cov patios)	214.95m ²
EXIST. Covered Entrance	3.72m ²
TOTAL UNDERCOVER:	218.67m ²
Footprint area:	218.67m ²
Coverage %:	23.6%

BUITENDAG ARCHITECTURE
DESIGN • INTERIOR • CONSTRUCTION
ASSOCIATE ARCHITECT : DIANA BURGER
REGISTRATION NUMBER: SACAP: Pr ARCH60231407
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VICTORIA BAY
GEORGE

CLIENT/KLIENT: Bianca Mangiarotti

T O W R O (P T Y) L T D

PROJECT/PROJEK:
PROPOSED ADDITIONS AND ALTERATIONS TO RESIDENCE, ERF 2542, MERRIMAN STREET GEORGE

DRAWING/TEKENING:
ELEVATIONS

SCALE/SKAAL:
AS INDICATED

DRAWING/TEKENING:
CK

DATE/DATUM:
2026/06/25

REV./WYS:
1

PROJECT NR./PROJEK NO.
2608_200

GENERAL

- Positions of boundary pegs to be certified by registered land surveyor. All levels, dimensions, steps etc., to be checked by the contractor on site, and all discrepancies to be reported to the Designer or Architect.
- All materials to be approved by the SABS or agreement board. All work to comply with the National Building Regulation, the applicable SABS codes & building society regulations.
- Where underfloor heating is indicated on the plan the affected floors to be cast on min. 50mm thick polyurethane foam and foam is also to be installed around perimeter of room to insulate floor from wall.

DRAINAGE. SINGLE STACK SYSTEM
NB No backventing required

- A chemical temporary toilet for workmen to be provided before foundation excavations are inspected, in and inoffensive position and to be kept in an hygienic and odourless state.
- All sewer to be 100 diameter pvc. minimum fall 1:60, maximum fall 1:10. Open end of vent pipe to be min. 2.0m above any opening into building within a 5m radius. Stub vents to be fitted with an approved 2-way vent-valve.
- All bends and junctions in sewer to be fitted with i.e.'s all r.e.'s under paving to be fitted with marked covers. Drain under foundations to be protected and to comply with PP24.
- All waste fittings to have seal traps and to be fully accessible if under floors, with i.e.'s each end, otherwise clamped to wall.
- All Sewer pipes to be min 450mm deep. Any sewer pipe not deeper than 450mm under ground level (L. -160mm) to be covered with a concrete slab, wide and strong enough to protect the sewer with min 100mm soil between pipe and concrete.
- The radius at the centre line of bend at the floor of the discharge stack shall be not less than 300mm & other bends 600mm.
- The vertical distance between the invert of the lowest branch point of connection of the stack and drain to be min. 500mm.
- Where any waste and soil branches are connected to stack the centre line of the waste branch shall not intersect the stack within 200mm below the centre line of the soil branch, all waste branches to connect separately to the stack.
- Pipe Sizes:

Grade	Gradient (degrees)	Max.	Min.
40 dia : sinks, veg. basin, shower, whb		2.5	1.2.5
40 dia : bidet		5	2.5
50 dia : washing machine, bath, washtrough, dishwasher		2.5	1.25
100 dia : to toilets		14	5

 combined wastes to be min. 50mm and vents to toilets 100 dia.

- Sewer connection: as shown with i.e. or manhole within 1,5m from connection.
- Manhole to be built at municipal sewer connection.
- Gully to be 150mm ANGL or 50mm AFGL

ROOF : SHEETS AND TRUSSES

As described on 1-50 Section drawings.

- Grade 4 timber sizes below:

Span	Grade	Rafter	Tie beam
Span to 4,7m	4	38x114	38x114
Span to 5,9m	4	38x114	38x114
Span to 7,2m	4	38x152	38x228
Span to 8,5m	6	38x114	38x152
Span to 10,0m	6	38x152	38x228
- All web members to be at least 38x114, Grade 4 timber, with bays of equal lengths not greater than 1,5m
- Approved bracing to be provided to prevent buckling and to keep trusses upright.
- Flashing to all changes in roof levels, chimneys, parapets and any other projections.
- Valley and hip rafters to be Grade 6 50x230 S.A. Pine.
- All laminated timber will comply with SABS 876.

BRICKWORK & FOUNDATIONS

- All loadbearing brickwork to be 280 cavity walls with brickforce provided every three layers.
- DPC to be provided horizontally in walls & parapet, & vertical where there is a step in floor level.
- DPC to be provided along windows, window sills as well as underneath the surfaced.
- Min Foundation sizes (to be confirmed by Engineer):

Loadbearing 280mm or 220mm thick brick walls	800x350
220mm thick brick walls	750x300
110mm thick brick walls	600x250
450mm thick brick walls and three storey's brickwork	900x350
450x450mm columns	1000x1000x350
Round asbestos columns	1000x1000x350
- Finished floor level to be min height of 150mm above finished ground level.
- No foundation and/or building material to surpass erf boundary.

WINDOWS AND DOOR SCHEDULE

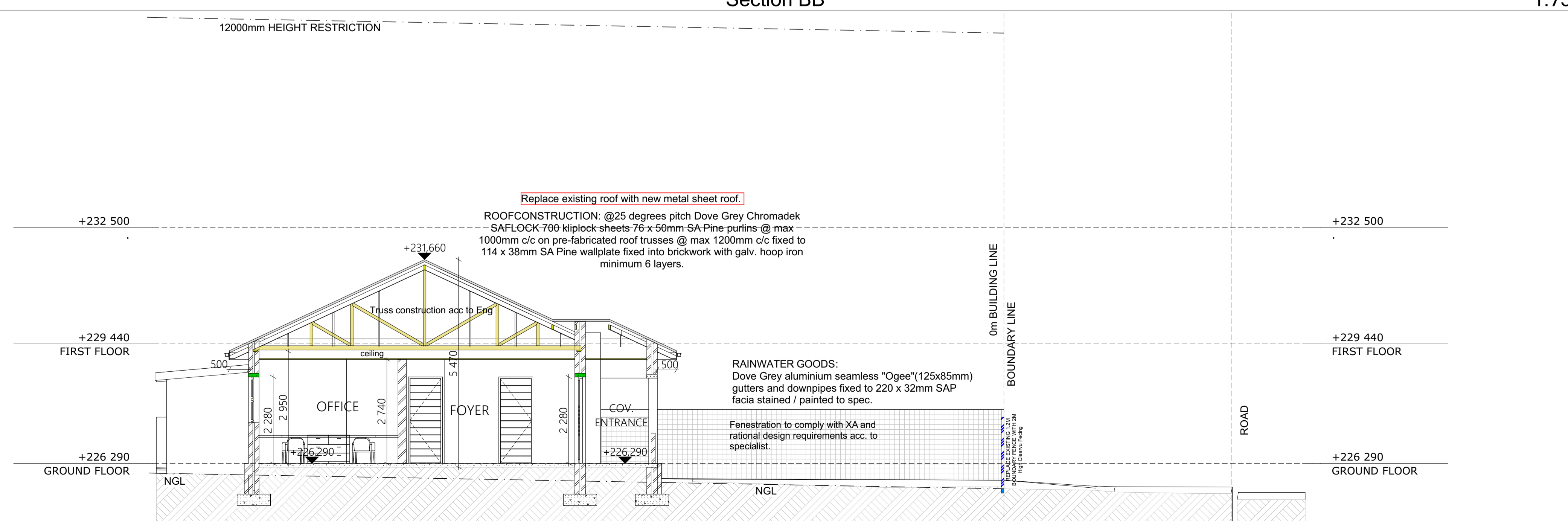
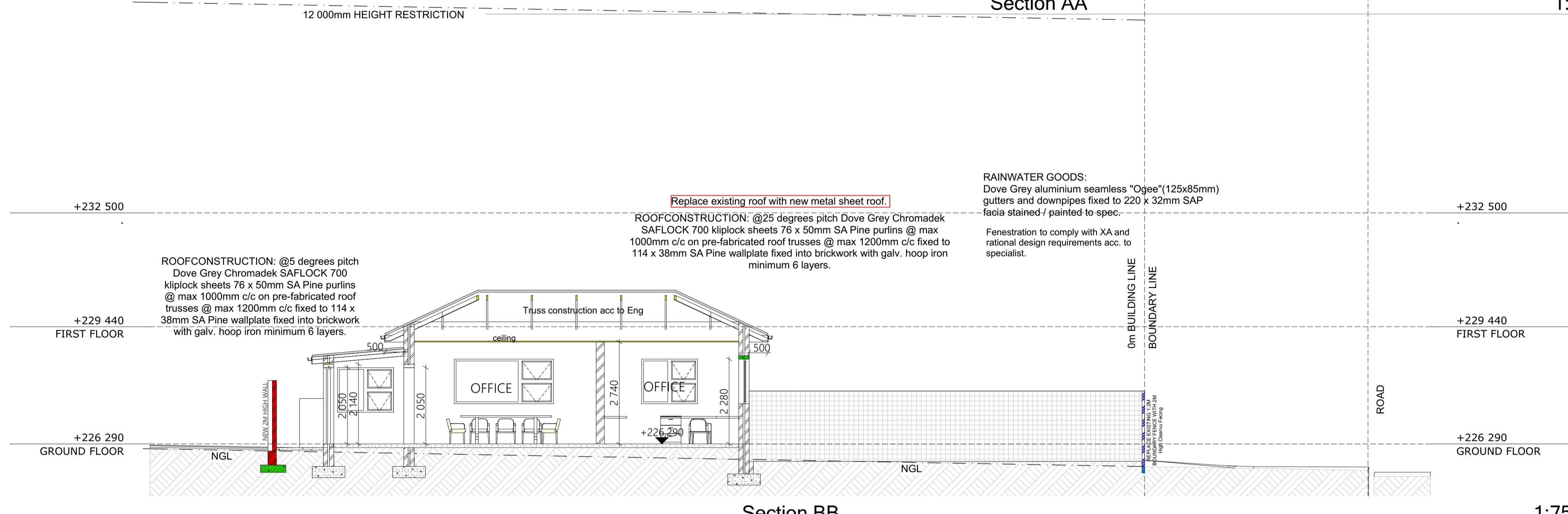
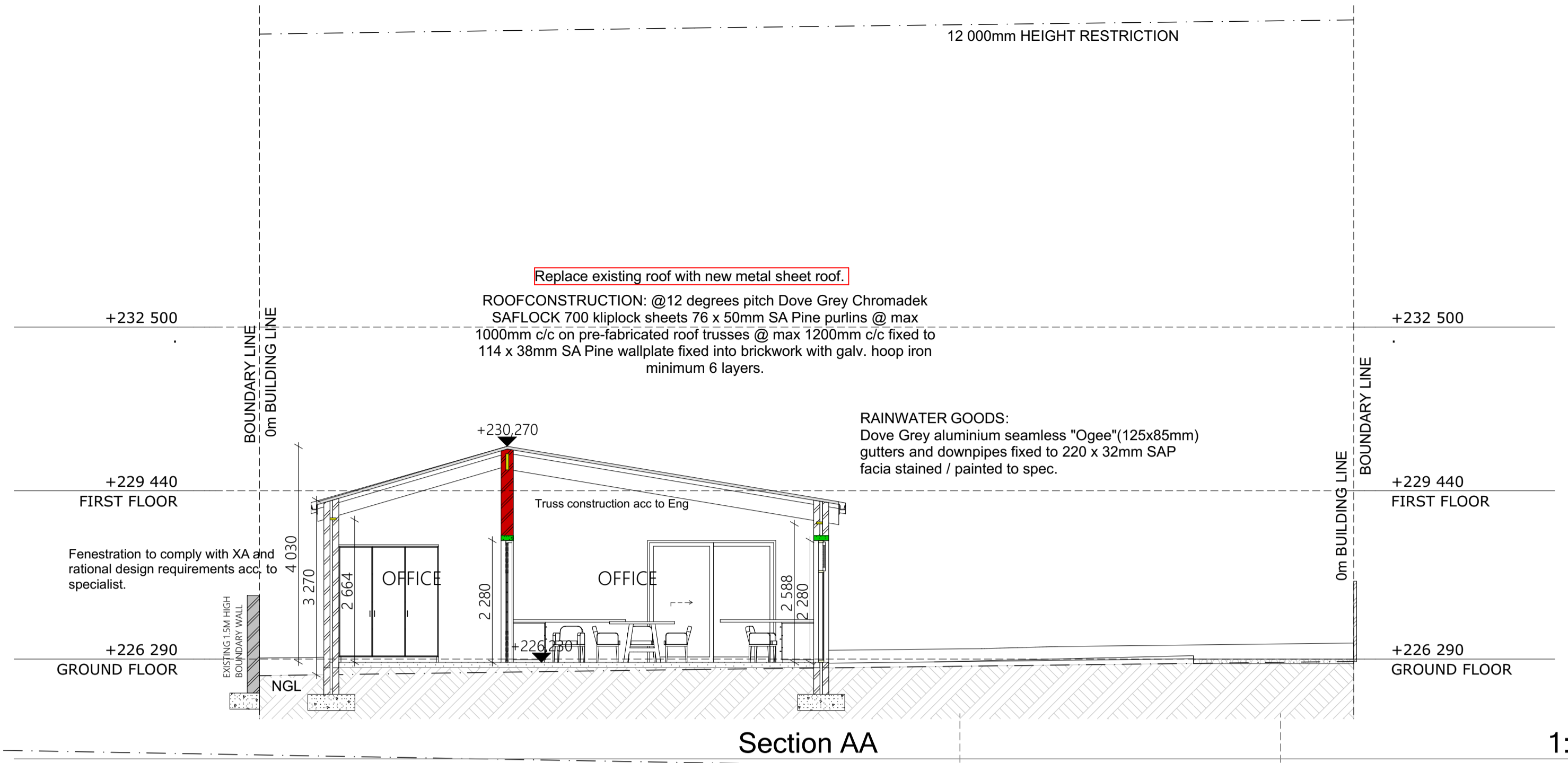
- All windows & doors to be timber or aluminium as per schedule.
- All doors as described in door schedule on plan.
- All Glazing to comply with SANS 10137 & SANS 10400 Part N - Access doors and Sidelights, Windows lower than 500mm from floor, Windows lower than 1800mm above pitchline of stairs to be safety glass and clearly indicated as such on eye level.
- Shutters to be functional acc. to architectural guideline and to be epoxy powder coated aluminium of which the colour match the window frames.

STAIRS AND BALUSTRADES

- Reinforced concrete staircase to engineers detail.
- Treads min. 250mm
- Risers max. 200mm
- Balustrades 1050mm high from FFI with openings smaller than 100mm.

FINISHES

- 6mm Rhino ceiling boards on 38x38mm brandering at 400 c/c.
- Smooth plaster on inside and outside.
- Plastered external and Timber internal window sills.
- Painting: internal ceilings: one filler coat and two coats of PVA. internal walls: one filler coat and two coats PVA. external walls: one primer coat and two coats weather proof PVA exposed timber: two coats varnish.



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WYSIGINGS/REVISIONS

REV. NO.	DATE	WYSIGING REVISION	DRAWN BY
1	25/05/2026	GENERAL: - Replace existing roofs with new metal roof acc. to specialist (pitch remains the same). - Replace all existing exterior door and windows with aluminium epoxy coated doors and windows. - Replace existing street boundary wall with a 1.5m high boundary wall. - Construct 2m High Wall at Office 2 - Interior walls constructed in Office 2 - WC added in Office 2 - Coffee station added in Office 2 - Paving added on erf.	GETEKEN DEUR

Summary of Areas:

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EXIST. BUILDING 2	93.93m ²
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EXIST. Covered Entrance	3.72m ²
TOTAL UNDERCOVER:	218.67m ²
Footprint area:	218.67m ²
Coverage %:	23.6%

BUITENDAG ARCHITECTURE
DESIGN · INTERIOR · CONSTRUCTION

ASSOCIATE ARCHITECT : DIANA BURGER
REGISTRATION NUMBER: SACAP: Pr ARCH60231407
CONTACT DETAILS: chanel@buitendagarch.co.za
Tel: 0692012894

VICTORIA BAY ROAD
P O BOX 9553
Tel: 082 927 3048
e-mail: yvette.buitendag@gmail.com

CLIENT/KLIENT: Bianca Mangiarotti

T O W R O (P T Y) L T D

PROJECT/PROJEK:
PROPOSED ADDITIONS AND ALTERATIONS TO RESIDENCE, ERF 2542, MERRIMAN STREET GEORGE

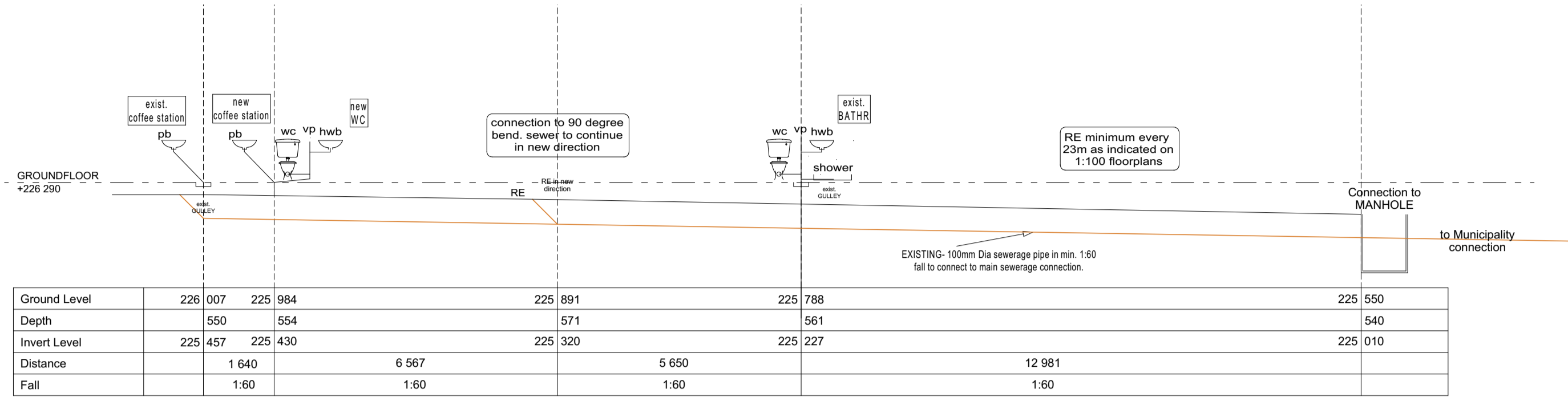
DRAWING/TEKENING:	
SCALE/SKAAL:	REF./VERW:
AS INDICATED	
DRAWING/GETEKEN:	COMPUTER NO./REKENAAR NR:
CK	

DATE/DATUM:	REV./WYS:	PROJECT NR./PROJEK NO.
2026/06/25	1	2608_300

DRAINAGE. SINGLE STACK SYSTEM
NB No backventing required

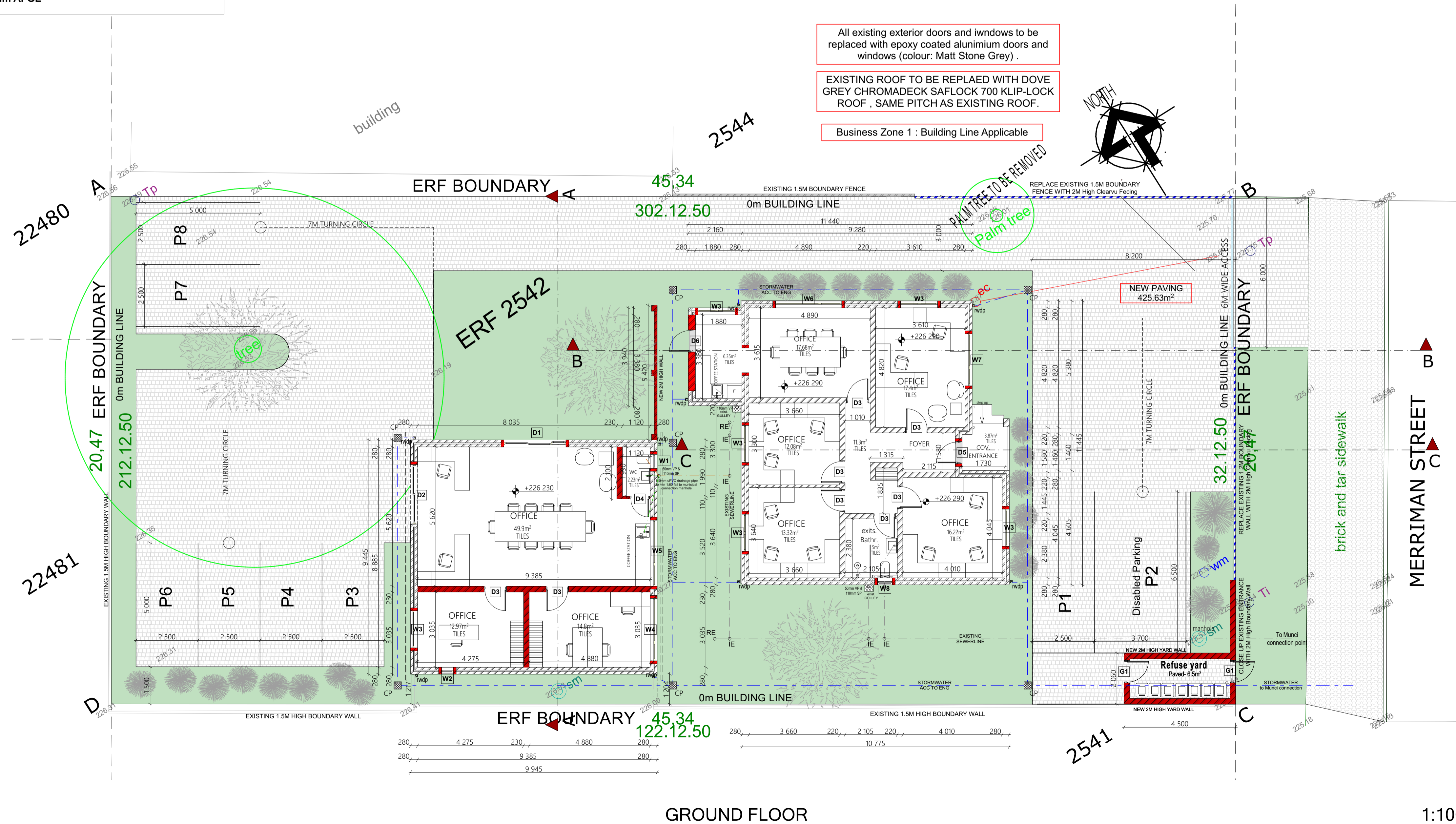
1. A Chemical temporary toilet for workmen to be provided before foundation excavations are inspected, in and inoffensive position and to be kept in an hygienic and odourless state.
2. All sewer to be 100 diameter pvc. minimum fall 1:60, maximum fall 1:10. Open end of vent pipe to be min. 2.0m above any opening into building within a 5m radius. Stub vents to be fitted with an approved 2-way vent-valve.
3. All bends and junctions in sewer to be fitted with i.e.'s all r.e.'s under paving to be fitted with marked covers. Drain under foundations to be protected and to comply with PP24.
4. All waste fittings to have seal traps and to be fully accessible if under floors, with i.e.'s each end, otherwise clamped to wall.
5. All Sewer pipes to be min 450mm deep. Any sewer pipe not deeper than 450mm under ground level (I.L. -160mm) to be covered with a concrete slab, wide and strong enough to protect the sewer with min 100mm soil between pipe and concrete.
6. The radius at the centre line of bend at the floor of the discharge stack shall be not less than 300mm & other bends 600mm.
7. The vertical distance between the invert of the lowest branch point of connection of the stack and drain to be min. 500mm.
8. Where any waste and soil branches are connected to stack the centre line of the waste branch shall not intersect the stack within 200mm below the centre line of the soil branch, all waste branches to connect separately to the stack.
9. Pipe Sizes:

	Gradient. (degrees)	
	Max.	Min.
40 dia : sinks, veg, basin, shower, whb	2.5	1.25
40 dia : bidet	5	2.5
50 dia : washing machine, bath, washtrough, dishwasher	2.5	1.25
110 dia : to toilets	14	5
combined wastes to be min. 50mm and vents to toilets 110 dia.		
10. Sewer connection: as shown with i.e. or manhole within 1.5m from connection.
11. Manhole to be built at municipal sewer connection.
12. Gully to be 150mm ANGL or 50mm AFGL



DRAINAGE SECTION

1:100



GROUND FLOOR

1:100

1. MUNICIPAL REQUIREMENTS AND THOSE OF OTHER AUTHORITIES MUST BE ADHERED TO.
2. POSITIONS OF BOUNDARY PEGS TO BE CERTIFIED BY REGISTERED LAND SURVEYOR. ALL DIMENSIONS AND LEVELS ON THE BUILDING SITE TO BE CHECKED BY THE CONTRACTOR ON SITE BEFORE COMMENCING WORK AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
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6. ALL CAVITIES BELOW FLOOR LEVEL TO BE FILLED WITH CONCRETE AND DPC'S TO BE STEPPED.
7. THE DESIGN ON THIS DRAWING IS THE PROPERTY OF THE ARCHITECTS AND COPYRIGHT THEREOF IS RESERVED BY THEM.

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DESIGN • INTERIOR • CONSTRUCTION

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REGISTRATION NUMBER: SACAP: Pr ARCH60231407
CONTACT DETAILS: chanel@buitendagarch.co.za
Tel: 0692012894

VICTORIA BAY ROAD
P O BOX 9553
Tel: 082 927 3048
e-mail: yvette.buitendag@gmail.com

CLIENT/KLIENT: Bianca Mangiarotti

TOWRO (PTY) LTD

PROJECT/PROJEK:
PROPOSED ADDITIONS AND ALTERATIONS TO RESIDENCE, ERF 2542, MERRIMAN STREET GEORGE

DRAWING/TEKENING:
DRAINAGE SECTIONS

SCALE/SKAAL:
AS INDICATED

DRAWN/GETEKEN:
CK

DATE/DATUM:	REV./WYS:	PROJECT NR./PROJEK NR.
2026/06/25	1	2608_450

	D1	D2	D3	D4	D5	D6	G1
Quantity	1	1	8	1	1	1	2
Home Story	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR
Size	2 500x2 280	2 400x2 280	900x2 280	780x2 280	900x2 280	900x2 050	900x2 000
Description	Aluminium Sliding Door with Sidelight window	Aluminium Sliding Door	Internal Semi Solid Timber Door	Internal Semi Solid Timber Door	Aluminium Door	Aluminium Door	Aluminum gate with fibre cement slats
Frame	External Frame with sill	External Frame with sill	Internal Frame no sill	Internal Frame no sill	External Frame with sill	External Frame with sill	-
Finish	Powder Coated Aluminium. Colour Matt Stone Grey	Powder Coated Aluminium. Colour Matt Stone Grey	Painted to later spec	Painted to later spec	Powder Coated Aluminium. Colour Matt Stone Grey	Powder Coated Aluminium. Colour Matt Stone Grey	Painted to later spec.
Glazing	Acc to Rational Design	Acc to Rational Design			Acc to Rational Design	Acc to Rational Design	

	W1	W2	W3	W4	W5	W6	W7	W8
Quantity	1	1	6	1	1	1	1	1
Home Story	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR
W x H Size	570x870	480x1 200	1 500x1 200	2 520x960	2 670x1 125	2 670x1 200	2 100x1 200	600x900
Description	Aluminium Window with fixed panel below and top hung opener above	Aluminium Window with fixed panel below and top hung opener above	Aluminium Window with fixed panel below and top hung opener above	Aluminium Window with fixed panel below and top hung opener above	Aluminium Window with fixed panel below and top hung opener above	Aluminium Window with fixed panel below and top hung opener above	Aluminium Window with fixed panel below and top hung opener above	Aluminium Window with fixed panel below and top hung opener above
Glazing	Acc to Rational Design	Acc to Rational Design	Acc to Rational Design	Acc to Rational Design	Acc to Rational Design	Acc to Rational Design	Acc to Rational Design	Acc to Rational Design
Finish	Powder Coated Aluminium. Colour Matt Stone Grey	Powder Coated Aluminium. Colour Matt Stone Grey	Powder Coated Aluminium. Colour Matt Stone Grey	Powder Coated Aluminium. Colour Matt Stone Grey	Powder Coated Aluminium. Colour Matt Stone Grey	Powder Coated Aluminium. Colour Matt Stone Grey	Powder Coated Aluminium. Colour Matt Stone Grey	Powder Coated Aluminium. Colour Matt Stone Grey

ALL GLAZING TO BE DONE IN ACCORDANCE WITH A.A.A.M.S.A STANDARD

All hinge Door Opening Positions indicated on plan

All window and door designs to be confirmed by client or architect prior to manufacture

ALL GLAZING ACC TO RATIONAL DESIGN

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VICTORIA BAY ROAD
 P O BOX 9553
 Tel: 082 927 3048
 e-mail: yvette.buitendag@gmail.com

VICTORIA BAY
 GEORGE

CLIENT/KLIENT: Bianca Mangiarotti

T O W R O (P T Y) L T D

PROJECT/PROJEK:
PROPOSED ADDITIONS AND ALTERATIONS TO RESIDENCE, ERF 2542, MERRIMAN STREET GEORGE

DRAWING/TEKENING:

DOOR & WINDOW SCHEDULE

SCALE/SKAAL:
AS INDICATED

REF./VERW.:

DRAWN/GETEKEN:
CK

COMPUTER NO./REKENAAR NR.:

DATE/DATUM:
 2026/06/25

REV./WYS:
 1

PROJECT NR./PROJEK NO.
 2608_500

ANNEXURE 10

Admin Delplan

From: Delarey Viljoen
Sent: Tuesday, 02 June 2026 08:10
To: Admin Delplan
Subject: FW: Case Number 27949 / Rezoning

From: bianca b <biancabb1993@gmail.com>
Sent: Tuesday, 02 June 2026 07:58
To: Delarey Viljoen <delarey@delplan.co.za>
Subject: Fwd: Case Number 27949 / Rezoning

Sent from my iPhone

Begin forwarded message:

From: bianca b <biancabb1993@gmail.com>
Date: 30 April 2026 at 10:11:00 SAST
To: Ruan Brand <Ruan.Brand@westerncape.gov.za>
Subject: Re: Case Number 27949 / Rezoning

Hi Ruan

Thank you very much for the clarification, much appreciated!

I will pass this comment onto council

Kindly
Bianca
Sent from my iPhone

On 30 Apr 2026, at 10:03, Ruan Brand
<Ruan.Brand@westerncape.gov.za> wrote:

Dear Bianca,

Please use this e-mail to communicate with the municipality in terms of HWC's view on the matter.

The property in question, which is located at Erf 2542, 95 Merriman Street, George, is not graded and is not a previous national monument or a provincial heritage site.

As such, Section 27(18) of the National Heritage Resource Act (Act 25 of 1999) does not apply to this property.

Furthermore, if alterations to the fabric or a demolition to a structure older than 60 years is required, then a Section 34(1) permit is required, and if a site is greater than 10 000 square meters and it is being rezoned, then heritage approval is required in terms of Section 38(1)(d) or if the character of a site greater than 5000 square meters is changing, then approval is required in terms of Section 38(1)(c).

Given that no alterations to the fabric or a demolition is proposed (and a permit has already been provided for other proposed work in terms of Section 34(1)), and the property is less than 5000 square meters in extent, there is no trigger in terms of the NHRA for the proposed rezoning.

We trust that the above provides clarity on the matter, but please do not hesitate to contact me in case you have any further questions regarding the above.

Kind regards

Ruan Brand
Specialist Heritage Officer

Heritage Resource Management Services
Protea Assurance Building Greenmarket Square, Cape Town
Contact Number: +27 21 829 3319
Website: <http://www.hwc.org.za/> / <http://www.westerncape.gov.za/>

-----Original Message-----

From: bianca b <biancabb1993@gmail.com>
Sent: Thursday, 30 April 2026 09:35
To: Ruan Brand <Ruan.Brand@westerncape.gov.za>
Subject: Re: Case Number 27949 / Rezoning

[You don't often get email from biancabb1993@gmail.com. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

Hi Ruan

No, it is less than 1000m2

Sent from my iPhone

On 30 Apr 2026, at 08:33, Ruan Brand
<Ruan.Brand@westerncape.gov.za> wrote:

Dear Bianca,

Is the property/area being rezoned greater than 10 000 square meters?

Kind regards

Ruan Brand
Specialist Heritage Officer

Heritage Resource Management Services
Protea Assurance Building Greenmarket Square, Cape Town Contact

Number: +27 21 829 3319

Website:

<http://www.h/>

wc.org.za%2F&data=05%7C02%7CRuan.Brand%40westerncape.gov.za%7C7b15ab77

0ffc4476177e08dea68af6e2%7Cae74bf7fcfc34760a1fe0731afaa5502%7C0%7C0%7C

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<http://www.w/>

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-----Original Message-----

From: bianca b <biancabb1993@gmail.com>
Sent: Thursday, 30 April 2026 08:07
To: Ruan Brand <Ruan.Brand@westerncape.gov.za>
Subject: Case Number 27949 / Rezoning

[You don't often get email from biancabb1993@gmail.com.
Learn why this
is important at
<https://aka.ms/LearnAboutSenderIdentification>]

Hi Mr Brand

I have been in contact with Stephanie regarding case number 27949 - which we have received the permit for minor works.

We have a new matter to navigate. We would like to do a rezoning application on the property, to change the rights from residential, to office, like the majority of the surrounding area.

The municipality has requested a letter or permit from Heritage to give us permission to proceed - what are the processes to follow in order to obtain that permission?

The building will remain untouched after the maintenance that Heritage has already permitted. It will simply be a change of rights.

I would appreciate your advice on this,

Kindly

Bianca

Sent from my iPhone

"All views or opinions expressed in this electronic message and its attachments are the view of the sender and do not necessarily reflect the views and opinions of the Western Cape Government (the WCG). No employee of the WCG is entitled to conclude a binding contract on behalf of the WCG unless he/she is an accounting officer of the WCG, or his or her authorised representative.

The information contained in this message and its attachments may be confidential or privileged and is for the use of the named recipient only, except where the sender specifically states otherwise.

If you are not the intended recipient you may not copy or deliver this message to anyone."

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ANNEXURE 11



Planning and Development
 E-mail: rlhector@george.gov.za
 Tel: +27 (0)44 801 9477

LAND USE PLANNING PRE-APPLICATION CONSULTATION FORM

PLEASE NOTE:

Pre-application consultation is an advisory session and is required prior to submission of an application for rezoning, consent use, temporary departure and subdivision. It does not in any way pre-empt the outcome of any future application which may be submitted to the Municipality.

PART A: PARTICULARS

Reference number: **4028759**

Purpose of consultation: **To consult a Municipal town planner on their opinion on the said development**

Brief proposal: **Application for Proposed Rezoning & Departure**

Property description: **Erf 2542, George**

Date: **4 February 2026**

Attendees:

	Name & Surname	Organisation	Contact Number	E-mail
Official	Robin Hector	George Municipality	0448019477	rlhector@george.gov.za
	Naudica Swanepoel	George Municipality	0448019477	nswanepoel@george.gov.za
Pre-applicant	Delarey Viljoen	DELPLAN Consulting	044 873 4566	planning@delplan.co.za

Documentation provided for discussion:

(Include document reference, document/plan dates and plan numbers where possible and attach to this form)

- Locality (in text)
- Title Deed
- SG Diagram
- Proposed SDP

Has pre-application been undertaken for a Land Development application with the Department of Environmental Affairs & Development Planning (DEA&DP)?

(If so, please provide a copy of the minutes)

YES	NO
-----	----

Comprehensive overview of proposal:

Erf 2542, George is located at 95 Merriman Road, George. According to the title deed the property measures 928m². The image below indicates the subject property.



Figure 1: Locality



Figure 2: Enlarged aerial photograph

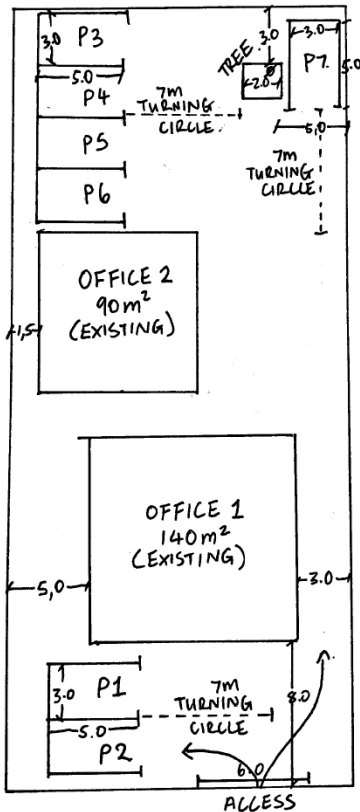


Figure 3: SDP extract

The erf is currently zoned as “Single Residential Zone I”, as seen in figure 4, and contains a dwelling with an outbuilding. The owner now wishes to rezone the property to “Business Zone I” to allow a business premises by converting the existing structures. Some of the dilapidated structures will be demolished.

The current proposal provides sufficient parking on-site, and one access point is proposed as can be seen in figure 3, providing access to both of the proposed office spaces.

It is also the intention to apply for a slight reduction in the parking parameters to PT1 as Merriman Street has been upgraded as a bus route. There is a large tree on the site as seen in figure 4, which will be maintained in its current position.



Figure 4: Tree to be kept

As can be seen in figure 5, there are several business uses in the area as Merriman is becoming increasingly business orientated.



Figure 5: Zoning

As can be seen in figures 6 and 7 the subject property falls within the densification zone as well as being within the medium-term business development edge, thus spatially the proposal could be supported. As can also be seen, there is a *GoGeorge* bus route located along Merriman Street thus PT1 could also be supported.



Figure 6: SDF extract

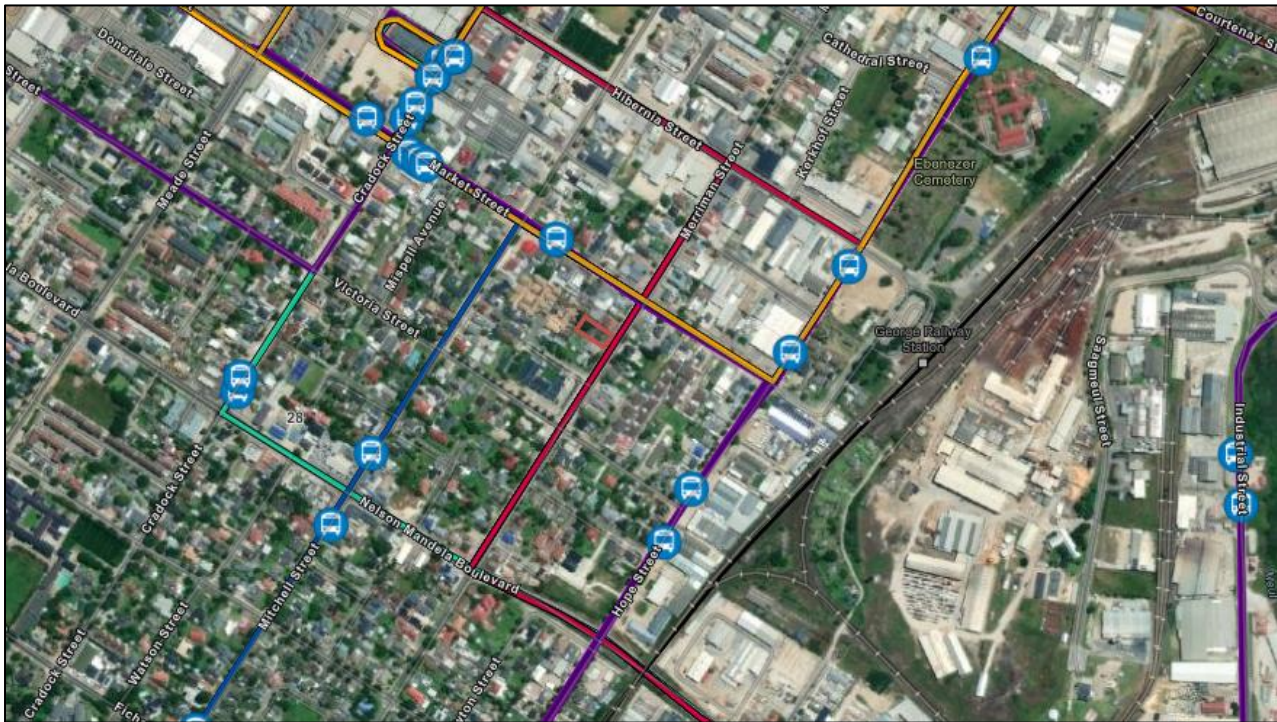


Figure 7: GoGeorge bus routes

The building in front on Merriman is older than 60 years and input form a Heritage Impact Assessment Practitioner will have to be obtained.

PART C: QUESTIONNAIRES

**SECTION A:
DETERMINATION OF APPLICATION TYPES, PRESCRIBED NOTICE AND ADVERTISEMENT PROCEDURES**

Tick if relevant		What land use planning applications are required?	Application fees payable
<input checked="" type="checkbox"/>	2(a)	a rezoning of land;	R
<input checked="" type="checkbox"/>	2(b)	a permanent departure from the development parameters of the zoning scheme;	R
	2(c)	a departure granted on a temporary basis to utilise land for a purpose not permitted in terms of the primary rights of the zoning applicable to the land;	R
	2(d)	a subdivision of land that is not exempted in terms of section 24, including the registration of a servitude or lease agreement;	R
	2(e)	a consolidation of land that is not exempted in terms of section 24;	R
	2(f)	a removal, suspension or amendment of restrictive conditions in respect of a land unit;	R
	2(g)	a permission required in terms of the zoning scheme;	R
	2(h)	an amendment, deletion or imposition of conditions in respect of an existing approval;	R
	2(i)	an extension of the validity period of an approval;	R
	2(j)	an approval of an overlay zone as contemplated in the zoning scheme;	R
	2(k)	an amendment or cancellation of an approved subdivision plan or part thereof, including a general plan or diagram;	R
	2(l)	a permission required in terms of a condition of approval;	R
	2(m)	A determination of a zoning;	R
	2(n)	A closure of a public place or part thereof;	R
	2(o)	a consent use contemplated in the zoning scheme;	R
	2(p)	an occasional use of land;	R
	2(q)	to disestablish a home owner's association;	R
	2(r)	to rectify a failure by a home owner's association to meet its obligations in respect of the control over or maintenance of services;	R
	2(s)	a permission required for the reconstruction of an existing building that constitutes a non-conforming use that is destroyed or damaged to the extent that it is necessary to demolish a substantial part of the building	R
Tick if relevant		What prescribed notice and advertisement procedures will be required?	Advertising fees payable
<input type="checkbox"/>	N	Serving of notices (i.e. registered letters etc.)	R
<input type="checkbox"/>	N	Publication of notices (i.e. Provincial Gazette, Local Newspaper(s) etc.)	R
<input type="checkbox"/>	N	Additional publication of notices (i.e. Site notice, public meeting, local radio, website, letters of consent etc.)	R
<input type="checkbox"/>	N	Placing of final notice (i.e. Provincial Gazette etc.)	R
TOTAL APPLICATION FEE* (VAT excluded):			TBD on submission

PLEASE NOTE: * Application fees are estimated on the information discussed and are subject to change with submission of the formal application and/or yearly application fee increase.

SECTION B:

PROVISIONS IN TERMS OF THE RELEVANT PLANNING LEGISLATION / POLICIES / GUIDELINES

QUESTIONS REGARDING PLANNING POLICY CONTEXT	YES	NO	TO BE DETERMINED	COMMENT
Is any Municipal Integrated Development Plan (IDP)/Spatial Development Framework (SDF) and/or any other Municipal policies/guidelines applicable? If yes, is the proposal in line with the aforementioned documentation/plans?			X	Applicant to motivate proposal in line with George Municipal Spatial Development Framework, 2023 and George CBD Local Spatial Development Framework, 2015.
Any applicable restrictive condition(s) prohibiting the proposal? If yes, is/are the condition(s) in favour of a third party(ies)? [List condition numbers and third party(ies)]			X	Submit Conveyancer's Certificate indicating any title deed restrictions relating to the proposal, and the beneficiaries to be notified / consent to be obtained.
Any other Municipal by-law that may be relevant to application? (If yes, specify)		X		
<p>Zoning Scheme Regulation considerations:</p> <p>Which zoning scheme regulations apply to this site?</p> <p>George Integrated Zoning Scheme By-law, 2023</p> <p>What is the current zoning of the property?</p> <p>Single Residential Zone I</p> <p>What is the proposed zoning of the property?</p> <p>Business Zone I</p> <p>Does the proposal fall within the provisions/parameters of the zoning scheme?</p> <p>Yes</p> <p>Are additional applications required to deviate from the zoning scheme? (if yes, specify)</p> <p>Yes – departure for reduction in parking bays</p>				

QUESTIONS REGARDING OTHER PLANNING CONSIDERATIONS	YES	NO	TO BE DETERMINED	COMMENT
Is the proposal in line with the Provincial Spatial Development Framework (PSDF) and/or any other Provincial bylaws/policies/guidelines/documents?			X	Motivate i.t.o PSDF
Are any regional/district spatial plans relevant? If yes, is the proposal in line with the document/plans?		X		

SECTION C:

CONSENT / COMMENT REQUIRED FROM OTHER ORGANS OF STATE

QUESTIONS REGARDING CONSENT / COMMENT REQUIRED	YES	NO	TO BE DETERMINED	OBTAIN APPROVAL / CONSENT / COMMENT FROM:
Is/was the property(ies) utilised for agricultural purposes?		X		Western Cape Provincial Department of Agriculture
Will the proposal require approval in terms of Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)?		X		National Department of Agriculture
Will the proposal trigger a listed activity in terms of National Environmental Management Act, 1998 (Act 107 of 1998) (NEMA)?		X		Western Cape Provincial Department of Environmental Affairs & Development Planning (DEA&DP)
Will the proposal require authorisation in terms of Specific Environmental Management Act(s) (SEMA)? (National Environmental Management: Protected Areas Act, 2003 (Act 57 of 2003) (NEM:PAA) / National Environmental Management: Biodiversity Act, 2004 (Act 10 of 2004) (NEM:BA) / National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004) (NEM:AQA) / National Environmental Management: Integrated Coastal Management Act, 2008 (Act 24 of 2008) (NEM:ICM) / National Environmental Management: Waste Act, 2008 (Act 59 of 2008) (NEM:WA) (strikethrough irrelevant)		X		National Department of Environmental Affairs (DEA) & DEA&DP
Will the proposal require authorisation in terms of the National Water Act, 1998 (Act 36 of 1998)?		X		National Department of Water & Sanitation (DWS)
Will the proposal trigger a listed activity in terms of the National Heritage Resources Act, 1999 (Act 25 of 1999)?	X			South African Heritage Resources Agency (SAHRA) &

QUESTIONS REGARDING CONSENT / COMMENT REQUIRED	YES	NO	TO BE DETERMINED	OBTAIN APPROVAL / CONSENT / COMMENT FROM:
				Heritage Western Cape (HWC)
Will the proposal have an impact on any National or Provincial roads?		X		National Department of Transport / South Africa National Roads Agency Ltd. (SANRAL) & Western Cape Provincial Department of Transport and Public Works (DTPW)
Will the proposal trigger a listed activity in terms of the Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations		X		National Department of Labour (DL)
Will the proposal affect any Eskom owned land and/or servitudes?		X		Eskom
Will the proposal affect any Telkom owned land and/or servitudes?		X		Telkom
Will the proposal affect any Transnet owned land and/or servitudes?		X		Transnet
Is the property subject to a land / restitution claims?		X		National Department of Rural Development & Land Reform
Will the proposal require comments from SANParks and/or CapeNature?		X		SANParks / CapeNature
Will the proposal require comments from DEFF?		X		Department of Environment, Forestry and Fishery
Is the property subject to any existing mineral rights?		X		National Department of Mineral Resources
Does the proposal lead to densification to such an extent that the number of schools, healthcare facilities, libraries, safety services, etc. In the area may be impacted on? (strikethrough irrelevant)		X		Western Cape Provincial Departments of Cultural Affairs & Sport (DCAS), Education, Social Development, Health and Community Safety

SECTION D:

SERVICE REQUIREMENTS

DOES THE PROPOSAL REQUIRE THE FOLLOWING ADDITIONAL INFRASTRUCTURE / SERVICES?	YES	NO	TO BE DETERMINED	OBTAIN COMMENT FROM: (list internal department)

Electricity supply:			X	Directorate: Electro-technical Services
Water supply:			X	Directorate: Civil Engineering Services
Sewerage and waste water:			X	Directorate: Civil Engineering Services
Stormwater:			X	Directorate: Civil Engineering Services
Road network:			X	Directorate: Civil Engineering Services
Telecommunication services:			X	
Other services required? Please specify.			X	
Development charges:			X	

PART D: COPIES OF PLANS / DOCUMENTS TO BE SUBMITTED AS PART OF THE APPLICATION

COMPULSORY INFORMATION REQUIRED:

Y	N	Power of Attorney / Owner's consent if applicant is not owner (if applicable)	Y	N	S.G. noting sheet extract / Erf diagram / General Plan
Y	N	Motivation report / letter	Y	N	Full copy of the Title Deed
Y	N	Locality Plan	Y	N	Site Layout Plan
Y	N	Proof of payment of fees	Y	N	Bondholder's consent

MINIMUM AND ADDITIONAL REQUIREMENTS:

Y	N	Site Development Plan	Y	N	Conveyancer's Certificate
Y	N	Land Use Plan	Y	N	Proposed Zoning plan
Y	N	Phasing Plan	Y	N	Consolidation Plan
Y	N	Abutting owner's consent	Y	N	Landscaping / Tree Plan
Y	N	Proposed Subdivision Plan (including street names and numbers)	Y	N	Copy of original approval letter
Y	N	Services Report or indication of all municipal services / registered servitudes	Y	N	Home Owners' Association consent
	N	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) (strikethrough irrelevant)	Y	N	1 : 50 / 1:100 Flood line determination (plan / report)
Y	N	Other (specify)	Y	N	Required number of documentation copies

PART E: DISCUSSION

Pre-application as discussed on 04 February 2026 for the proposed Rezoning and Departures for Erf 2542, George. The documents attached were presented.

Town Planning comment:

- Applicant to motivate proposal in terms of SPLUMA, LUPA, PSDF, MSDF and LSDF. Any deviation must be motivated.
- Approval from Heritage Western Cape required.
- Rezoning to Business Zone I in principle may be supported from a spatial planning perspective.
- Applicant must indicate compliance with the zoning objective, land use description and development parameters contained in the George Integrated Zoning Scheme By-law, 2023. Any deviation from the latter requires a departure application.
- All structures on site and development parameters of the zoning to be indicated on the site/subdivisional plan.
- Please include a zoning comparison of the current versus proposed zoning / land use.
- Applicant to clearly demonstrate and indicate additions and structures to be demolished.
- Applicant to address development parameter (j)(ii) under “business premises”. Motivate approval required by the Municipality.
- Please address impact on the streetscape and mitigation to improve street interface.
- Adequate parking spaces, manoeuvring space and dimensions to be indicated on the site plan.
- Existing mature vegetation to be retained and incorporated into the design and development, especially the mature tree.
- Height may be limited to align with the character of the area.
- Submit heritage inputs and address impact in the motivation.

Civil Engineering Services comment:

- Access be restricted via Merriman Street.
- Access should comply to the GIZS 2023, alternatively any deviation should be included within a land use application.
- Lowering and heightening of kerb to be done in conjunction and approval of the Directorate Civil Engineering Services to avoid parking on street reserve.
- All parking must be provided on-site, in compliance with the GIZS 2023 parking requirements
- No parking is allowed within the road reserve, and the owner may be held liable for any costs incurred to prevent unauthorized parking in this area.
- PT1 parking ratio may be applied for.
- Normal Development Charges (DCs), applicable on services available, will be levied in accordance with the DC policy and the applicable By-law and or policy.

Electro Technical Services comment:

- Electricity DCs applicable.
- Allowance to be made by applicant for the overhead service connection to be replaced with underground cable.

PART F: SUMMARY / WAY FORWARD

- Applicant to proceed with submission of the land use application addressing all aspects in E above.
- Furthermore, this pre-application comments are not exhaustive and should not be relied upon as a definitive assessment or preliminary approval of the proposal. It remains the applicant’s responsibility to ensure the accuracy and completeness of the application and to ensure that it is prepared and submitted in accordance with all relevant requirements and legislation.

OFFICIAL: Robin Hector

SIGNED:



DATE: 10 February 2026

PRE-APPLICANT: Delarey Viljoen Pr. Plan

SIGNED:



DATE: 02 February 2026

OFFICIAL: Naudica Swanepoel

SIGNED:



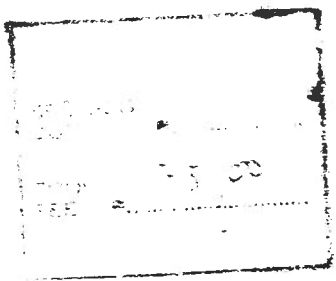
DATE: 11 February 2026

**Please note that the above comments are subject to the documents and information available to us at the time of the pre-application meeting and we reserve our rights to elaborate on this matter further and/or request more information/documents should it be deemed necessary.*

geteek deur my.

TRANSPORTBESORGER
HAYCOCK N

n/a
ad



VERBIND		MORTGAGED	
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B	65829	97	
22 10 97			REGISTRATEUR/REGISTRAR

T 101526/97

TRANSPORTAKTE

SY DIT KENNELIK AAN ALMAL WIE DIT MAG AANGAAN

Dat ELIZABETH JOHANNA McCAUL

verskyn het voor my, Registrateur van Aktes te KAAPSTAD, Hy die gesegde Komparant synde daartoe behoorlik gemagtig deur 'n volmag geteken te George op 26 SEPTEMBER 1997 aan hom verleen deur

KARL HANS ADELBERT FRITZ KRIESS
IDENTITEITSNOMMER 120403 5020 00 4
ongetroud

welke volmag. geteken in die teenwoordigheid van getuie ooreenkomstig die Wet, my hede getoon is;

En die Komparant het verklaar dat voormelde TRANSPORTGEWER waarlik en wettiglik verkoop het op 14 AUGUSTUS 1997 en dat Hy, in sy hoedanigheid as voormeld hiernaee in volle en vrye eiendom seeder en transporteer aan en ten behoewe van

JOHANNES GERHARDUS KORF GENIS
 IDENTITEITSNOMMER 470818 5045 00 6
 ongetroud

Sy Erfgename, Eksekuteurs, Trustees of Regverkrygendes

ERF 2542 GEORGE
 IN DIE MUNISIPALITEIT EN AFDELING VAN GEORGE
 PROVINSIE WES-KAAP

GROOT 928 (NEGE HONDERD AGT EN TWINTIG) VIERKANTE METER

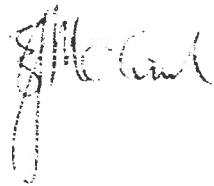
Oorspronklik oorgedra kragtens TRANSPORTAKTE NR T4649/1954 met Kaart Nr.9368/53 wat daarop betrekking het en gehou kragtens TRANSPORTAKTE NR T12895/1979.

ONDERHEWIG aan die voorwaardes na verwys in Akte van Transport No. T5734/1899 dated 18th July 1899.

Weshalwe die Komparant afstand doen van al die regte en titel wat KARL HANS ADELBERT FRITZ KRIESS voorheen op genoemde eiendom gehad het, en gevolglik ook erken dat die KARL HANS ADELBERT FRITZ KRIESS geheel en al van die besit daarvan onthef en nie meer daartoe geregtig is nie, en dat kragtens hierdie akte, bogenoemde TRANSPORTNEMER, Sy Erfgename, Eksekuteurs, Trustees of Regverkrygendes, tans en voortaan daartoe geregtig is, ooreenkomstig plaaslike gebruik, behoudens die Regte van die Staat; en ten slotte erken hy dat die hele Koopsom die bedrag van R130 000,00 (EENHONDERD EN DERTIGDUISEND RAND) bedra, wat ten volle betaal of verseker is.

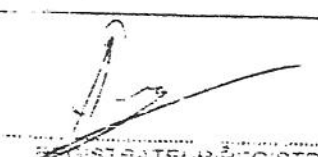
Ten Bewyse waarvan ek, die genoemde Registrateur, tesame met die Komparant, hierdie Akte onderteken en dit met die Ampseël bekragtig het.

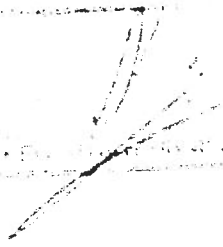
ALDUS GEDOEN en verly op die Kantoor van die Registrateur van Aktes, te
 KAAPSTAD op 22 Oktober 1997

 (g.g. sy Prinsipaal-ak

In my teenwoordigheid.


 REGISTRATEUR VAN AKTES.

VERBIND		MORTGAGED	
VIA FOR R35 000,00			
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08 12 99			

DE IDENTITEITSNUMMER VAN DIE	THE IDENTITY NUMBER OF THE
T1 force	
IS VERANDERD NA	HAS BEEN CHANGED TO
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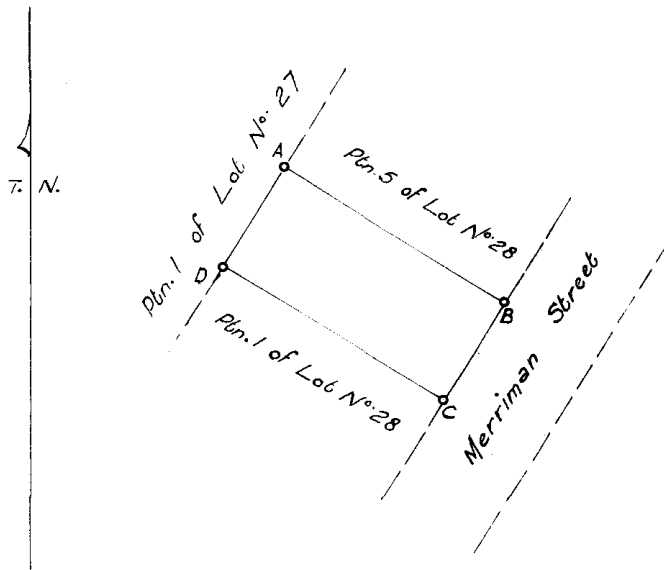
SUB-DIVISIONAL DIAGRAM,
 Made in accordance with Act No. 13 of 1927.

SIDES		ANGLES OF DIRECTION	SYSTEM Lo. CO-ORDINATES	
Cape	Feet		y	x
AB	144	A 90°		
BC	65	B 90		
CD	144	C 90		
DA	65	D 90		

No. 9368/53 ✓

Approved

Surveyor-General.
 20-3-1954



Beacons :- 1

A, B, C & D, iron pegs 18" long & 1/2" dia.
 * NOW LRI 2542

GEORGE

Scale 1/1000

The figure A B C D _____

represents 9360 Square feet of land being

— Portion 4 (a portion of Portion 2) of Lot No. 28 —
 situate in the Municipality and _____

Division of George _____

Province of Cape of Good Hope.

Surveyed in Oct 1953 by me

J. J. J. J.

Land Surveyor.

This diagram is annexed to
 D/T 4 649/54.

The original diagram is File No. S. 8715/97
 No. 1558/1951 annexed to S.R. No. E. 2272/53
 D./T. 1952-137-6807 BL-7 DD/42 ✓

Registrar of Deeds.

NTB BL-7DD
 X.42
 Arterah, C.F.

PROPOSED SITE DEVELOPMENT
PLAN - ERF 2542.

