



TOWN PLANNING

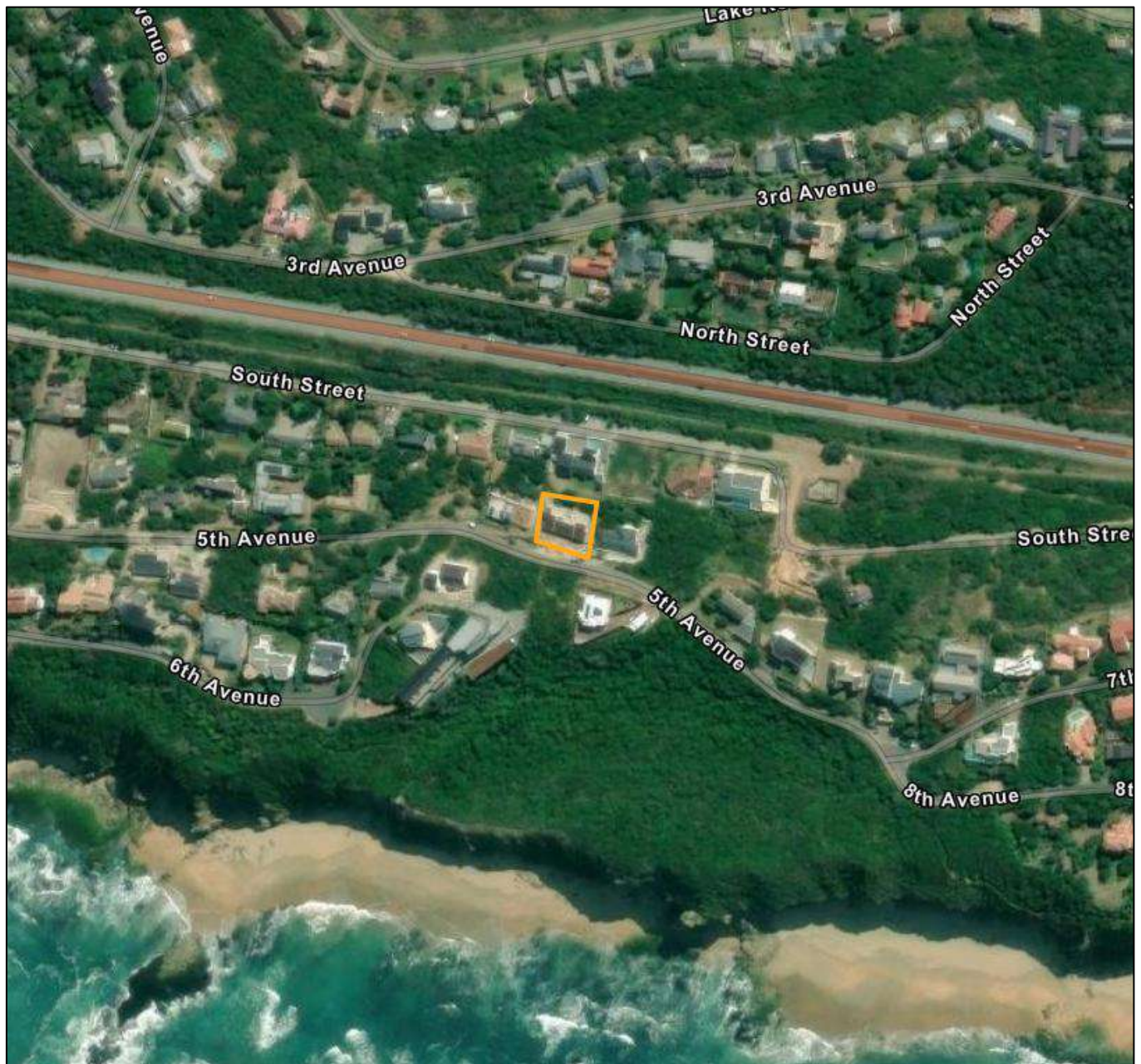
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DEVELOPMENT MANAGEMENT CONSULTING

**PROPOSED ADMINISTRATOR'S CONSENT & PERMANENT DEPARTURES
FOR DPFS INVESTMENTS PTY LTD**

**ERF 788, 5TH AVENUE, WILDERNESS
GEORGE MUNICIPALITY & DIVISION**



CONTENTS

1. BACKGROUND INFORMATION.....	4
1.1 PROPERTY DETAILS	4
2. APPLICATION	5
3. CONTEXTUAL INFORMANTS.....	5
3.1 LOCALITY.....	5
3.2 ZONING.....	5
3.3 CHARACTER OF THE AREA AND THE PROPERTY.....	6
4. DEVELOPMENT PROPOSAL.....	9
4.1 ADMINISTRATOR’S CONSENT	9
4.2 PERMANENT DEPARTURES – RETAINING STRUCTURES AND BOUNDARY WALLS.....	10
4.3 PERMANENT DEPARTURES – BUILDING LINES	11
4.4 FURTHER CONSIDERATIONS.....	13
4.4.1. PUBLIC INTEREST	13
4.4.2. ENVIRONMENTAL CONSIDERATIONS	14
4.4.3. MUNICIPAL ENGINEERING SERVICES & ACCESS.....	14
5. NEED & DESIRABILITY	15
6. LEGISLATION & POLICIES.....	16
6.1. SPATIAL PLANNING & LAND USE MANAGEMENT ACT, 2013 (SPLUMA)	16
6.2. WESTERN CAPE LAND USE PLANNING ACT, 2014 (LUPA)	17
6.3. GEORGE MUNICIPALITY: LAND USE PLANNING BY-LAW, 2023.....	17
6.4. GEORGE INTEGRATED ZONING SCHEME BY-LAW, 2023 (GIZS)	17
6.5. GEORGE MUNICIPAL SPATIAL DEVELOPMENT FRAMEWORK (GMSDF) (2023).....	18
6.6. WILDERNESS-LAKES-HOEKWIJ LOCAL SPATIAL DEVELOPMENT FRAMEWORK (LSDF) (2015).....	18
7. CONCLUDING	19

Annexures

- 1. Power of Attorney**
- 2. Copy of Title Deed**
- 3. Surveyor-General Diagram**
- 4. Conveyancer’s Certificate**
- 5. Locality plan**
- 6. Site plan**
- 7. Floor plans, elevations & sections**
- 8. Approved building plans**

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Aerial images:

<https://gis.elsenburg.com/apps/cfm/#>

<https://gis.george.gov.za/portal/apps/webappviewer/index.html?id=0283eccf869641e0a4362cb099290fca>

<https://www.google.com/earth/>

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PROPOSED ADMINISTRATOR'S CONSENT & PERMANENT DEPARTURES: ERF 788, 5TH AVENUE, WILDERNESS EAST GEORGE MUNICIPALITY & DIVISION

1. BACKGROUND INFORMATION

Erf 788 Wilderness is zoned Single Residential Zone I (dwelling house), 917m² in extent, and located in Wilderness East. Construction of the dwelling house commenced during 2025 after building plan approval was obtained. Both the property and the surrounding area are characterised by steep slopes, making cut and fill, stairs, and retaining walls an inevitable part of development.

Access along the sides of the house was originally limited to paved / grassed areas. The owners subsequently realised that this arrangement was impractical and unsafe, given the steep terrain, and therefore added stairs along both sides of the dwelling. As a result, associated retaining walls had to be amended and/or added to accommodate and support the stairs. A retaining structure on the western boundary was necessitated to protect the neighbouring and subject property.

The stairs and retaining walls require the relevant departures in terms of the applicable development parameters. *DMC Town Planning* was appointed to address the land use requirements so that as-built plans for the house can be approved. The power of attorney attached as **Annexure 1** to this report.

1.1 PROPERTY DETAILS

The table to follow includes relevant information regarding Erf 788 Wilderness.

Property Description:	Erf 788 Wilderness
Physical Address:	5th Avenue, Wilderness East
Owner:	DPFS Investments Pty Ltd
Title Deed No:	T28275/2021 (Annexure 2)
Bond:	None
Size of the property:	917m ²
SG Diagrams	8096/1953 (Annexure 3)
Zoning	Single Residential Zone I (dwelling house)

The conveyancer certificate confirms that there are no restrictive conditions that prevent the proposed departures on the property except for the paragraphs addressed through the Administrator's Consent as discussed later in this report. The conveyancer's certificate is attached hereto as **Annexure 4**.

2. APPLICATION

This land use application for Erf 788 Wilderness entails the following:

- **Administrator's consent** in terms of Section 39(4) of the Western Cape Land Use Planning Act, 2014 (LUPA) for the relaxation of the eastern and western side building lines from 3.15m to 0.0m for existing stairs and retaining walls and 3.0m for the northeastern corner of the existing structure (Par. B(4)(d)).
- **Permanent departure** in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-law (2023) for the following:
 - Increase the maximum height of the western boundary wall from 2.1m to 3.552m and the eastern boundary wall from 2.1m to 2.880m (Sec27(1)) at the highest points.
- **Permanent departure** in terms of Section 15(2)(b) for the relaxation of the following building lines:
 - western side building line from 2.0m to 0.0m for existing stairs.
 - western side building line from 2.0m to 0.0m for existing stairs.

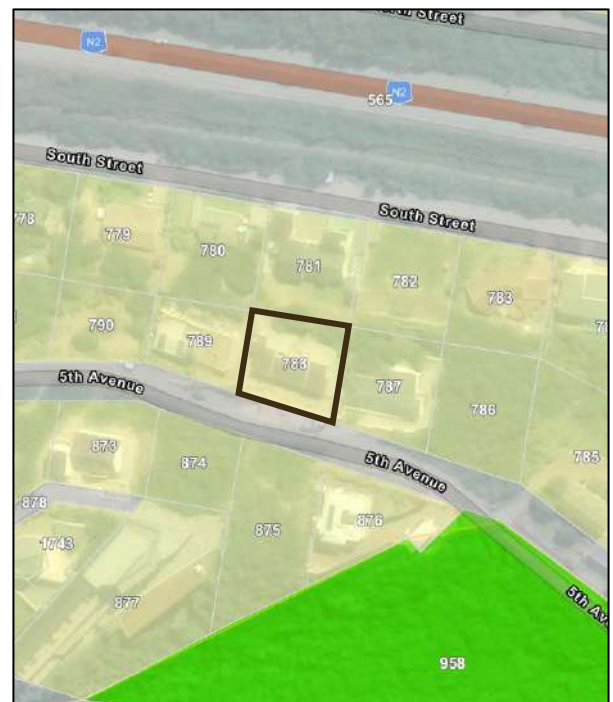
3. CONTEXTUAL INFORMANTS

3.1 LOCALITY

Erf 788 Wilderness is a developed residential property situated in Wilderness East, south of the N2-route. The property is less about 800m east of the Tourism Node and less than 200m north of the beach. A locality map is attached hereto as **Annexure 5**.

3.2 ZONING

Erf 788 Wilderness is zoned Single Residential Zone I (SRZI) and developed accordingly with a dwelling house. The construction of the dwelling house is not yet complete. Erf 788 Wilderness is abutted by other SRZI properties to the north, east, and west and 5th Avenue to the south. The image to the right shows the zoning of the property and the greater area. The zoning and use of the property will not change.



3.3 CHARACTER OF THE AREA AND THE PROPERTY

The area of Wilderness East is characterised by an undulating topography with a residential character and many forms of guest accommodations including hotels, guest houses, guest lodges and self-catering accommodation. Erf 788 Wilderness fits in this existing character of the area.

The subject property is 917m² in size and has a steep downward slope from south to north which ensures vast views over the N2 and all the way to the Serpentine River and hills of Hoekwil to the north. Construction commenced in 2025 with site preparation in 2024. The property has a 4.0m street building line and 2.0m side and rear building lines. Due to the steep slopes of the properties along this hillside, stairs are the only practical means of access around the property. Numerous retaining walls were also required to stabilize the terrain (neighbouring properties) and support the development. The following image shows the property as seen from above.



The house on the property consists of three levels. The lowest storey is primarily below ground level and is used solely for storage purposes (two spaces with a total area of 94m²). This level is not a habitable space with only a door access from the western and eastern side and no windows.

The middle storey has 6 bedrooms and associated bathrooms, and the upper storey contains the main living spaces, including the entertainment area, kitchen, dining room, lounge, study, a bedroom and braai area. There are no garages provided for the property. Parking is accommodated on the large, elevated driveway and parking platform situated between the house and 5th Avenue. Due to the steep slopes of the property, conventional garaging is not fully practical and would likely have required a bridge structure and significantly elevated built form on the property.

The retaining structures associated with the driveway were necessitated by the steep topography of the property and the need to safely manage both access and stormwater runoff. During construction, it became apparent that runoff from the road all concentrates towards Erf 788 Wilderness, as it is situated at one of the lowest points along the street. As a result, significant volumes of stormwater are directed towards the property.

The driveway and retaining wall system were therefore designed not only to provide practical and safe vehicular access, but also to serve as a stormwater management solution. A drainage channel has been incorporated within the driveway area to intercept and convey stormwater. The channel will be covered with a grid and integrated into the paved surface, allowing stormwater from the road reserve to be collected and safely guided downward.

More retaining structures were added along the western boundary, where the adjacent property's paving began to subside and raised concerns, to serve an important stabilisation function. The retaining walls were accordingly designed to support the difference in levels between the properties, protect neighbouring infrastructure, and ensure the long-term stability of the area. Stairs were also then needed for movement along the outside of the dwelling house.

The retaining structures are therefore not merely aesthetic or optional features but are crucial for the safe functioning of the property, the management of stormwater, and the protection of adjoining properties.

The following image shows the Google Streetview image of the property when site preparation just started in 2024 through construction in 2025 to near completion in 2026. They also show the difference in height between Erf 788 and the western neighbour, Erf 789 Wilderness, and the evolution of the retaining walls on that boundary. The western retaining wall was needed to protect Erf 789 Wilderness.





The following image shows the driveway, stormwater drain, parking space as well as that the house presents as a single storey structure from 5th Avenue.



4. DEVELOPMENT PROPOSAL

As stated in the earlier paragraphs of this report, Erf 788 Wilderness is a Single Residential Zone I of 917m² located in Wilderness East. The current owner purchased the property in 2021 when it was still vacant. Building plans for the dwelling house were submitted and subsequently approved.

Due to the steep topography of both the property and the surrounding area, it was necessary to construct stairs along the sides of the dwelling to provide safe and practical pedestrian access around the house. It must at all times be kept in mind that the structures forming the subject of this land use application is in accordance with requirements determined by a structural engineer. Retaining structures, stairs and stormwater infrastructure are expensive and not just added as nice to haves. It is critically important for safety of structures, property and people. The retaining walls along the boundaries are also boundary walls.

As a result, the associated infrastructure, (stairs and ancillary retaining walls) require the necessary departures and approvals to regularise the development on the property as-built. These structures are discussed in paragraph 3.3 above and also later paragraphs of this report.

See the building plans (site plan, floor plans, elevations & sections) indicating this detail attached to this report as **Annexure 6 & 7**. See **Annexure 8** for the previously approved building plans.

4.1 ADMINISTRATOR'S CONSENT

Condition B(4)(d) of the title deed states the following:

According to Condition B(4)(d) of the title deed, the property has a 4.72m street building line and 3.15m side and rear building lines. These are more restrictive than that of the zoning by-law. The title deed building lines as well as the zoning by-law building lines, are indicated on the site plan (**Annexure 6**).

- (d) No building or structure or any portion thereof except boundary walls and fences, shall be erected nearer than 4,72 metres to the street line which forms a boundary of this erf, nor within 3,15 metres of the rear or 3,15 metres of the lateral boundary common to any adjoining erf, provided that with the consent of the local authority, an outbuilding not exceeding 3,05 metres in height, measured from the floor to the wall plate and no portion of which will be used for human habitation may be erected within the above prescribed rear space. On consolidation of any two or more erven, this conditions shall apply to the consolidated area as one erf.

Administrator's consent is required for the existing stairs and retaining structures to be within the building line spaces. The stairs and retaining structures are up to the side boundaries (0.0m).

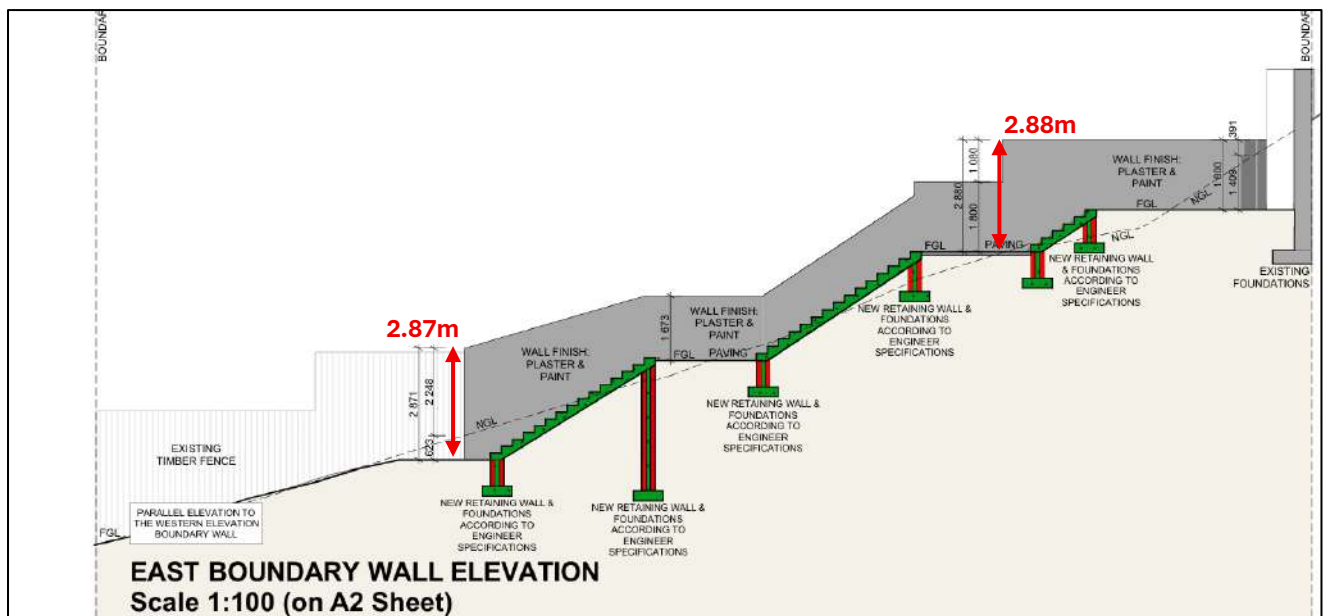
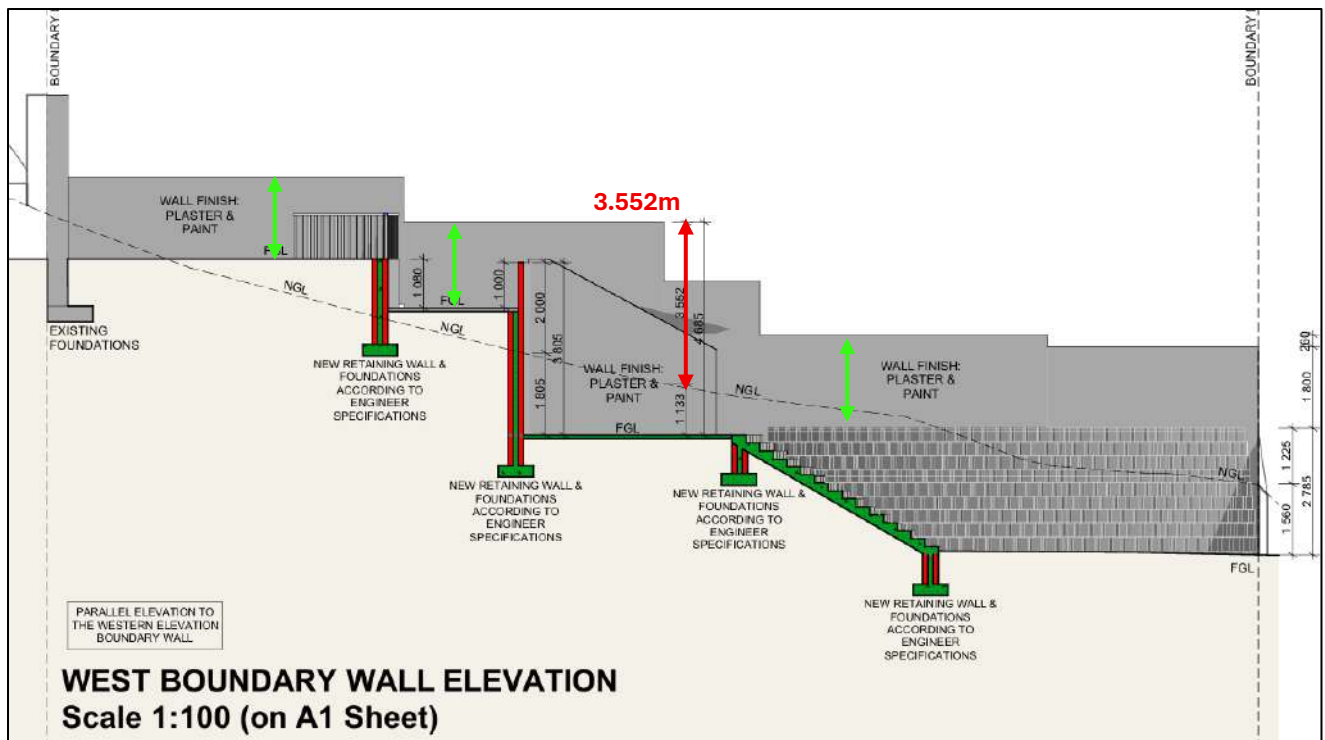
Administrator's consent is also required for the northeastern corner of the existing structure (balcony) to be 3.0m from the boundary in lieu of 3.15m. This is a 0.15m encroachment with a total floor area encroaching of 0.07m². This encroachment is negligible and has no impact on the rights of any surrounding property owners.

The encroachments of the existing stairs and retaining walls also has no adverse impact on neighbouring properties or the character of the area. It in fact protects the stability of the subject property as well as the neighbouring properties. The stairs and retaining structures are ancillary in nature, do not form part of any habitable space, and are necessary to facilitate access and manage the property's topography.

4.2 PERMANENT DEPARTURES – RETAINING STRUCTURES AND BOUNDARY WALLS

The zoning by-law limits a boundary wall to 2.1m. in this case, the boundary walls on both sides of the property are mostly 2.1m in height but each exceeds the 2.1m in the middle of the wall where it has to drop with the topography and stairs.

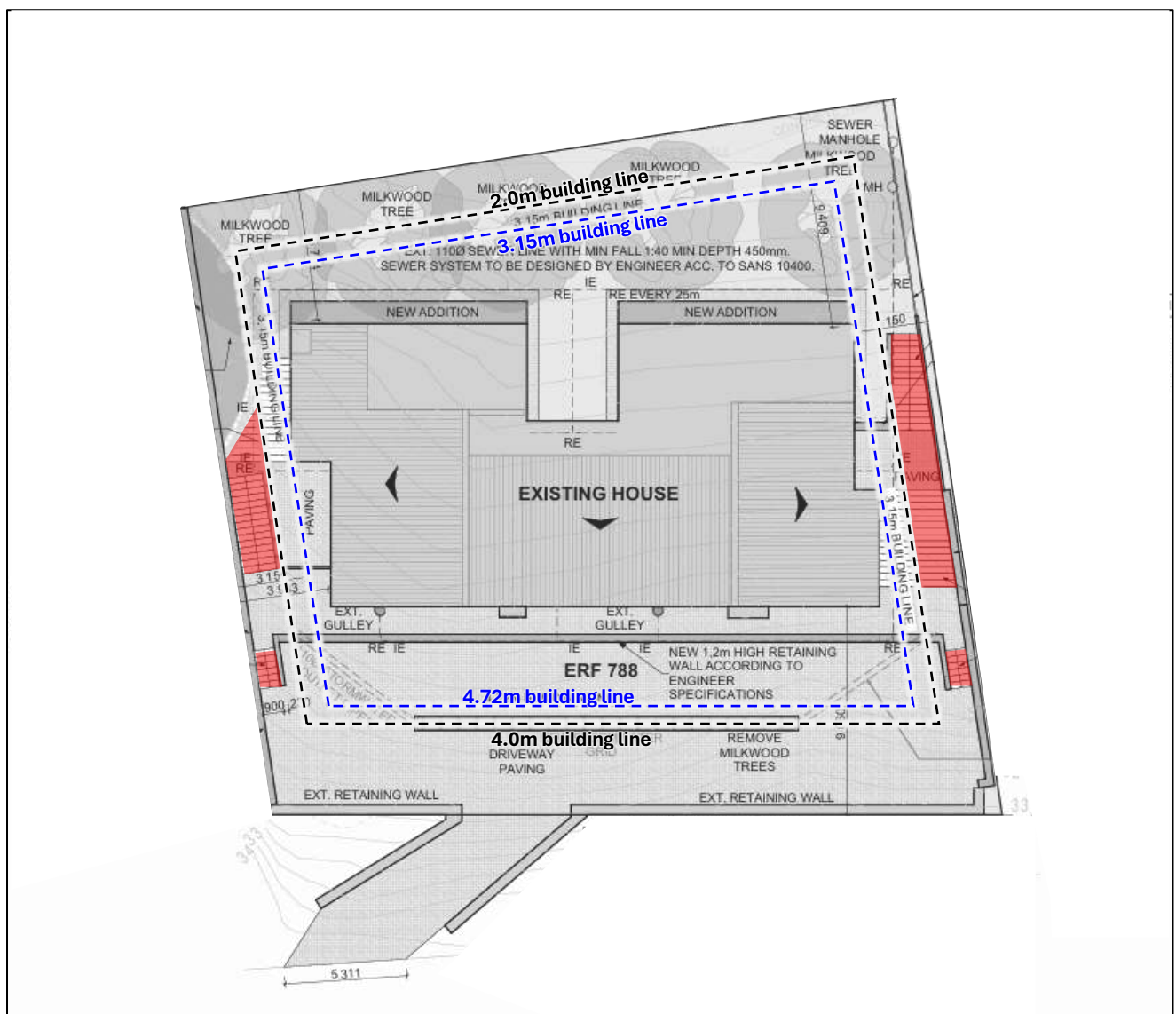
A permanent departure is thus required to increase the maximum height of the western boundary wall from 2.1m to 3.552m and to increase the maximum height of the eastern boundary wall from 2.1m to 2.88m (27(1)).



4.3 PERMANENT DEPARTURES – BUILDING LINES

The property has a 4.0m street building line and 2.0m side and rear building lines as determined by the zoning by-law. Stairs and retaining walls were added along the sides of the house for access and obvious support (retaining). Relaxation of the side building lines are thus required for these structures to be up to the side boundaries. Permanent departure is required for the western side building line from 2.0m to 0.0m for existing stairs & retaining walls and the eastern side building line from 2.0m to 0.0m for existing stairs & retaining walls.

The image below illustrates the stairs located within the eastern and western building lines, which require relaxations and Administrator's Consent.



The following images shows the retaining structure on the western boundary and the NGL drawn in (estimated). The retaining structure/s on the western side of the house are compliant with the parameters of the zoning scheme Section 26.



4.4 FURTHER CONSIDERATIONS

4.4.1. PUBLIC INTEREST

The proposed application is not expected to result in any adverse impact on the public interest. The additions of stairs and ancillary retaining structure are consistent with those typically associated with dwelling houses in this specific area, and the overall built form and aesthetic of the property remains residential in nature.

From the N2 in the north it appears as a double-storey structure because the lower storage level is largely below natural ground level (NGL) and screened by existing vegetation (photo below). The area is already characterised by many large retaining structures, stairwells, and associated boundary walls that are all in response to and to address the steep slopes.

The application will be subject to a public participation process, during which surrounding property owners and interested and affected parties will be afforded the opportunity to review and comment on the proposal.

The following image shows that the stairs and retaining structures do not negatively affect public views from the surrounding streets. The dwelling is consistent with the scale, form, and character of the surrounding residential development, and integrates appropriately into the existing neighbourhood context.

The following image also shows the retaining structures and boundary walls in the direct vicinity of Erf 788 Wilderness.



4.4.2. ENVIRONMENTAL CONSIDERATIONS

There are no trees to be affected by the proposed additions and there is no expected negative environmental impact.

4.4.3. MUNICIPAL ENGINEERING SERVICES & ACCESS

The municipal engineering services are not affected by this application.

Stormwater runoff from 5th Avenue is guided onto the raised driveway and collected via the stormwater drainage system incorporated within the driveway. The collected runoff is then conveyed and discharged to either side of the driveway towards the property boundaries. From these points, the stormwater flows under the stairways located on both sides of the house, ultimately draining towards the lower portion of the property in accordance with the natural topography of the site.

The following image shows the stormwater drain near completion. The driveway surface will be paved to the level of the drain with a grid to be put over.



5. NEED & DESIRABILITY

Need

Need from a planning perspective depends on the nature of the proposal and is guided by the principle of sustainability. This land use report demonstrates that the departures on Erf 788 Wilderness are responsive to the site's specific topography and physical constraints. The departures will regularise the existing stairs, retaining structures, and boundary walls, which are both necessary and practical given the site conditions. Approval of this application will also fulfil the owner's need for better site accessibility and stormwater management. At the same time the building lines included in the title deed is addressed through an Administrator's Consent.

Desirability

Desirability from a planning perspective, is defined as the degree of acceptability of a proposed development on a property. The relevant factors include the physical characteristics of the property, existing planning in the area, character of the area, the locality and accessibility of the property as well as the provision of services.

Physical characteristics of the properties

The design and built of the existing stairs, retaining structures, and boundary walls on the property were directly impacted by the physical character of the property and the steep slopes of the area. As can be seen, Erf 788 Wilderness is located at the lowest point of

Existing planning in the area

As indicated later in this land use report, this land use application is not found to be in conflict with the George Municipal Spatial Development Framework (GMSDF).

Character of the area

The departures will not negatively affect the character of the area. The area is already characterised by many large retaining structures, stairwells, and associated boundary walls that are all in response to and to address the steep slopes.

Provision of services

Municipal engineering services are available and will continue to be used as available.

Economic impact

This land use application for permanent departure cannot have a negative economic impact.

Direct impact on surrounding properties

No neighbours are expected to be impacted negatively by the proposed application as discussed earlier in this report. The stormwater management approach is designed to collect runoff from the 5th Avenue and safely convey it downslope across the site, thereby mitigating concentrated flow.

It is our view that the need and desirability of the proposed permanent departures on Erf 788 Wilderness, show no negative impacts.

6. LEGISLATION & POLICIES

The criteria for the consideration of land use applications as per the Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013) (SLPUMA), the Western Cape Land Use Planning Act, (Act 3 of 2014) (LUPA) and the George Municipality: By-law on Municipal Land Use Planning (2023) builds on each other. SLPUMA introduced legislative and procedural changes to the management of land use planning in South Africa. The Western Cape Province followed with LUPA and thereafter George Municipality with the Municipal Land Use Planning By-law (2023). What is relevant to this land use application is discussed in the paragraphs to follow.

6.1. SPATIAL PLANNING & LAND USE MANAGEMENT ACT, 2013 (SPLUMA)

Section 7 of this Act sets out the five development principles that are applicable to spatial planning, land development and land use management and section 42 of SPLUMA then refers to the factors that must be considered by a municipal tribunal when considering a land use planning application, which include but are not limited to:

- Five SPLUMA development principles;
- Public interest;
- Constitutional transformation;
- Respective rights and obligations of all those affected;
- State and impact of engineering services, social infrastructure and open space requirements;
- Compliance with environmental legislation.

Relevant aspects not addressed in the earlier paragraphs of this land use report, are addressed below. The five development principles of SPLUMA, namely spatial justice, spatial sustainability, efficiency, spatial resilience, and good administration are not all directly relevant to this land use application.

Spatial justice as described in Section 7(a) of SPLUMA is not fully relevant to this land use application.

Spatial sustainability as described in Section 7(b) of SPLUMA is relevant as follows:

- The proposed application holds no expected negative environmental impact.
- The effective and equitable functioning of land markets is not negatively affected by this application.
- No negative impacts are expected for surrounding properties as discussed in this report.

Efficiency as described in Section 7(c) of SPLUMA is not fully relevant to this application.

Spatial resilience as described in Section 7(d) of SPLUMA is not fully relevant to this application.

Good Administration as described in Section 7(e) of SPLUMA indicates the responsibilities of all involved in any land use matter.

The paragraphs above show that the land use application for Erf 788 Wilderness supports the relevant development principles of SPLUMA.

6.2. WESTERN CAPE LAND USE PLANNING ACT, 2014 (LUPA)

LUPA requires that local municipalities consider the following when deciding on land use applications:

- Applicable spatial development frameworks;
- Applicable structure plans;
- Land use planning principles referred to in Chapter VI (Section 59) which is an expansion of the five development principles of SPLUMA;
- Desirability of the proposed land use; and
- Guidelines that may be issued by the Provincial Minister regarding the desirability of proposed land use.

The land use planning principles expands on the five development principles of SPLUMA and desirability which is discussed in foregoing paragraphs.

Section 19(1) and (2) of LUPA refers to **consistency** and **compliance** of a land use proposal regarding spatial development frameworks or structure plans. Considering the aim of this land use application for Erf 788 Wilderness, no conflict was found with the George Municipal Spatial Development Framework (GMSDF).

6.3. GEORGE MUNICIPALITY: LAND USE PLANNING BY-LAW, 2023

The general criteria for the consideration of applications in terms of this By-law are included in Section 65 which, inter alia, includes:

- Desirability of the proposed utilisation of land;
- Impact of the proposed development on municipal engineering services;
- Integrated development plan, including the municipal spatial development framework, the applicable local spatial development framework and/or local structure plans;
- Relevant municipal policies;
- Western Cape Provincial Spatial Development Framework;
- Section 42 of SPLUMA (public interest, constitutionality);
- Land use planning principles transposed from LUPA; and
- Provisions of the applicable zoning scheme.

The above is addressed elsewhere in this land use report as relevant.

6.4. GEORGE INTEGRATED ZONING SCHEME BY-LAW, 2023 (GIZS)

Erf 788 Wilderness is a Single Residential Zone I (dwelling house) property according to the George Integrated Zoning Scheme By-law (GIZS) (2023) and developed accordingly with a dwelling house thereon.

The relevant parameters for which departures are required are building lines, retaining structures, and boundary wall parameters. See snips below.

BOUNDARY WALLS

27. In the absence of an approved site development plan, architectural guidelines or relevant policy the following development parameters apply to boundary walls:

(1) **Height**

The maximum height in all cases is 2.1 metres, subject to subsection (3) below.

A section of the boundary walls on both sides of the house is **higher than 2.1m.**

Coverage and Building lines

Erf size	Coverage	Building lines		
		Street	Side	Rear
Less than or equal to 250 m ²	80%	1 metre	0 metre on one side 1 metre on all other sides	1.5 metres
Greater than 250 m ² , but not exceeding 500 m ²	200m ² or 65% whichever is greater	3 metres	0 metre on one side 1.5 metres on all other sides	1,5 metres
Greater than 500 m ² , but not exceeding 1 000 m ²	325m ² or 50% whichever is greater	4 metres	2 metres	2 metres
Greater than 1 000 m ²	500 m ² or 40%, whichever is greater	5 metres	3 metres	3 metres

The stairs and ancillary retaining structures on either side of the house are up to **0.0m** to the side boundaries.

All other relevant development parameters for the property are complied with.

6.5. GEORGE MUNICIPAL SPATIAL DEVELOPMENT FRAMEWORK (GMSDF) (2023)

Erf 788 Wilderness is not addressed specifically in the GMSDF. It is a residential property in Wilderness (East), within the urban edge and in a demarcated residential area. The proposed departures are immaterial within the broader spatial context and does not negatively affect the character of the surrounding area. This land use application and the nature is not in conflict with the spatial objectives of the GMSDF as required in terms of Section 19 of the Land Use Planning Act, 2014 (LUPA).

6.6. WILDERNESS-LAKES-HOEKWIJL LOCAL SPATIAL DEVELOPMENT FRAMEWORK (LSDF) (2015)

Erf 788 Wilderness is not addressed specifically in the WLH LSDF. It is a dwelling house within the Wilderness (East) residential area. The departures will not change this designation and will not affect the character of the residential area.

The proposed departures on Erf 788 Wilderness are not found to be in conflict with the WLH LSDF.

7. CONCLUDING

This land use application seeks Administrator's Consent and permanent departures for the existing stairs, retaining structures, and boundary walls located on Erf 788 Wilderness. The departures are a direct consequence of the property's steep topography and are consistent with the character of the surrounding area, where similar retaining structures and stairs are common.

The stairs and retaining structures serve a practical and necessary function, and do not negatively impact neighbouring properties, public views, or the broader residential character of Wilderness East. It is a structural necessity. The stormwater management system incorporated into the driveway and stairway design further demonstrates the considered approach to the design.

The application is consistent with all the relevant considerations as prescribed by the planning legislation.

JULY 2026
(UPDATED 05 AUGUST 2026)

ANNEXURE 1

Resolution & Power of Attorney

I, Marius de Waal, [REDACTED] the only director of *DPFS Investments (Pty) Ltd (2016/527279/07)*, the registered owner of *Erf 788 Wilderness, George Municipality & Division* hereby resolve to authorise *Marlize de Bruyn* and *Denise Janse van Rensburg* from *DMC Town Planning* to submit the required land use application for the for the property in terms of Section 15(2) of the George Municipality: Land Use Planning By-law for the property.

Signed at Widerness.....on the20.May.... 2026



M de Waal

20/05/2026

Date


Witness

20/05/2026

Date



Companies and Intellectual
Property Commission
a member of the dti group

Date: 07/04/2021

Our Reference: 9344252838

HENNIG WILLERS
E-mail: ADMIN@WILLERS.CO.ZA
PO BOX 883
FAIRLAND
JOHANNESBURG
2030

RE: Amendment to Company Information

Company Number: 2016/527279/07

Company Name: DPFS INVESTMENTS (PTY) LTD

We have received a COR15.2 (Amendment of Memorandum of Incorporation) from you dated 07/04/2021.

The COR15.2 was accepted and placed on file.

The name was changed from
K2016527279 (SOUTH AFRICA) to DPFS INVESTMENTS.

Yours truly

Commissioner: CIPC

Please Note:

The attached certificate can be validated on the CIPC web site at www.cipc.co.za.

The contents of the attached certificate was electronically transmitted to the South African Revenue Services.



The Companies and Intellectual Property Commission
of South Africa

P.O. BOX 429, PRETORIA, 0001, Republic of South Africa. Docex 256, PRETORIA.

Call Centre Tel 086 100 2472, Website www.cipc.co.za





COMPANIES AND INTELLECTUAL PROPERTY COMMISSION REPUBLIC OF SOUTH AFRICA

Form COR14.3 - Amended Registration Certificate

Effective date: 07/04/2021
Print date: 07/04/2021
Customer code: WILLER
Tracking number: 9344252838

Concerning:

DPFS INVESTMENTS (PTY) LTD 2016/527279/07

The above company has filed an amendment of its Memorandum of Incorporation in terms of section 16 of the Companies Act, 2008, changing the company name from K2016527279 (SOUTH AFRICA) to DPFS INVESTMENTS (PTY) LTD.

In accordance with the Notice of Amendment of the Memorandum of Incorporation, the change of the company name takes effect on 07/04/2021.

In conjunction with this certificate, the Commission has not issued another notice contemplated in section 12 (3).

Commissioner: CIPC



The Companies and Intellectual Property Commission
of South Africa
P.O. BOX 429, PRETORIA, 0001, Republic of South Africa. Docex 256, PRETORIA.
Call Centre Tel 086 100 2472, Website www.cipc.co.za



**Certificate issued by the Companies and Intellectual Property
Commission on Wednesday, April 07, 2021 02:30
Certificate of Confirmation**



Registration number	2016 / 527279 / 07
Enterprise Name	DPFS INVESTMENTS (PTY) LTD
Enterprise Shortened Name	None provided.
Enterprise Translated Name	None provided.
Registration Date	08/12/2016
Business Start Date	08/12/2016
Enterprise Type	Private Company
Enterprise Status	In Business
Financial year end	February
Main Business/Main Object	BUSINESS ACTIVITIES NOT RESTRICTED.
Postal address	P O BOX 883 FAIRLAND FAIRLAND GAUTENG 2030
Address of registered office	5 MONKOR ROAD KELLAND RANDBURG GAUTENG 2194



The Companies and Intellectual Property Commission
of South Africa

P.O. BOX 429, PRETORIA, 0001, Republic of South Africa. Docex 256, PRETORIA.

Call Centre Tel 086 100 2472, Website www.cipc.co.za



**Certificate issued by the Companies and Intellectual Property
Commission on Wednesday, April 07, 2021 02:30
Certificate of Confirmation**



Registration number **2016/527279/07**
Enterprise Name **DPFS INVESTMENTS (PTY) LTD**

Name
Postal Address

Active Directors / Officers

Surname and first names	ID number or date of birth	Director type	Appoint- ment date	Addresses
DE WAAL, MARIUS		Director	01/03/2021	Postal: PO BOX 5892, WELTEVREDENPARK, WELTEVREDENPARK, GAUTENG, 1715 Residential: 820 ACANTHUS STREET, WELTEVREDENPARK EXT 45, ROODEPOORT, GAUTENG, 1709



The Companies and Intellectual Property Commission
of South Africa

P.O. BOX 429, PRETORIA, 0001, Republic of South Africa. Docex 256, PRETORIA.

Call Centre Tel 086 100 2472, Website www.cipc.co.za



ANNEXURE 2

DATUM : 21 September 2021
DATE

ONS VERWYSING : TA0292
OUR REFERENCE
U VERWYSING :
YOUR REFERENCE

Die Direkteure
DPFS INVESTMENTS (PTY) LTD
Per hand

Geagte Meneer/Dame

OORSPRONKLIKE TITELAKTE: T28275/2021
ERF 788 WILDERNESS – DPFS INVESTMENTS (PTY) LTD

Vind hierby aangeheg die oorspronklike akte vir veilige bewaring.

Erken asseblief ontvangs te erken hiervan.

Die uwe

Lombard Kotzé Ing - Inc

Per: Chris Kotzé
Tel: 044 874 2610
Faks: 086 655 1490
E-pos: chris@lombardkotze.co.za

Ontvangserkenning:

Naam: _____

Handtekening: _____

Datum: _____

Direkteure: Frederik Wilhelm Lombard, B.Proc & Christiaan Kotzé, LLB

1267

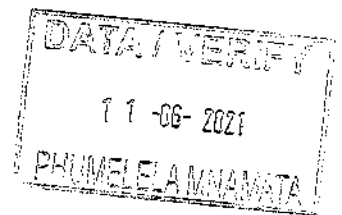
Lombard Kotze Inc
134 Merriman Street
GEORGE
6530

Prepared by me



CONVEYANCER
SUSANNA PETRONELLA VERMEULEN
(83690)

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R... [REDACTED]	[REDACTED]
Reason for exemption	Category Exemption.....	Exemption i t o. Sec/Reg..... Act/Proc.....



T 000028275 / 2021

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

LYNNE BOTHA (82076)

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him/her by

WERNER CRAUSE

Identity Number [REDACTED]

Married out of community of property

which said Power of Attorney was signed at George on 20 April 2021

And the appearer declared that his/her said principal had, on 14 April 2021, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

**DPFS INVESTMENTS (PROPRIETARY) LIMITED
REGISTRATION NUMBER 2016/527279/07**

or its Successors in Title or assigns, in full and free property

**ERF 788 WILDERNESS
IN THE MUNICIPALITY AND DIVISION OF GEORGE
PROVINCE WESTERN CAPE**

IN EXTENT 917 (NINE HUNDRED AND SEVENTEEN) Square metres

FIRST TRANSFERRED by Deed of Transfer Number T16501/1966 with General Plan SG No. 1785/1966 relating thereto and held by Deed of Transfer Number T37537/2019

- A. SUBJECT** to the conditions referred to in Certificate of Registered Title no. 19388 dated 24 November 1954.
- B. SUBJECT FURTHER** to the conditions contained in Deed of Transfer no. 16501 dated 16 August 1966 imposed by the Administrator of the Province of the Cape of Good Hope under Ordinance no. 33 of 1934 upon the approval of the establishment of Wilderness Village Extension no. 3 which conditions are as follows:
1. Any words and expressions used in the following conditions shall have the same meaning as may have been assigned to them by the regulations published under Provincial Administration Notice No. 401 dated 17th October, 1935, and in the memorandum which accompanied the said regulations.
 2. The owner of this erf shall without compensation, be obliged to allow electricity and water mains and the sewerage and drainage, including storm water of any other erf or erven to be conveyed across this erf, if deemed necessary by the local authority and in such manner and position as may from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time in order to construct, maintain, alter, remove or inspect any sewer, manhole, channel, conduit or other works pertaining thereto.
 3. The owner of this erf shall be obliged, without compensation, to receive the material or permit excavation on the erf, as may be required, to allow use of the full width of the street and provide a safe and proper slope to its bank owing to difference between the levels of the street as finally constructed and the erf, unless he elects to build retaining walls to the satisfaction of and within a period to be determined by the local authority.
- 
- 
- 

4. This erf shall be subject to the following further conditions provided especially that where, in the opinion of the Administrator after consultation with the Townships Board and the local authority it is expedient that the restriction in any such condition should at any time be suspended or relaxed, he may authorise the necessary suspension or relaxation subject to compliance with such conditions as he may impose:-

- (a) It shall not be subdivided;
- (b) It shall be used only for the purpose of erecting thereon one dwelling together with such outbuildings as are ordinarily required to be used therewith;
- (c) Not more than half the area thereof shall be built upon;
- (d) No building or structure or any portion thereof except boundary walls and fences, shall be erected nearer than 4,72 metres to the street line which forms a boundary of this erf, nor within 3,15 metres of the rear or 3,15 metres of the lateral boundary common to any adjoining erf, provided that with the consent of the local authority, an outbuilding not exceeding 3,05 metres in height, measured from the floor to the wall plate and no portion of which will be used for human habitation may be erected within the above prescribed rear space. On consolidation of any two or more erven, this conditions shall apply to the consolidated area as one erf.
- (e) Notwithstanding the provisions of Condition (d) above, a garage intended as an adjunct to the dwelling may, where the sole of the erf up from the levels of the abutting street is such that in the opinion of the local authority it cannot reasonable be sited at a distance of 4,72 metres from the street line, be erected at such lesser distance therefrom as the local authority may approve, provided that not more than 50 per cent of the cubic measure of such garage ay project above natural ground level and that in no event shall any such garage be erected at less than 3,15 metres from the street line.
- (f) In the event of the provisions of a Town Planning Scheme being made applicable to this erf, which provisions are more restrictive than the provisions contained in the above, then the provisions of such Scheme shall apply.

- C. **SUBJECT FURTHER** to the conditions contained in Deed of Transfer No. 16501 dated 16 August 1966, imposed by the Wilderness (1921) Limited, for the benefit of all purchasers and their successors in title to the erven containing Wilderness Town Extension No. 2, and for the benefit of the said Wilderness (1921) Limited and its successors in title as owners of the remainder of the said Village held by it under Certificate of Registered Title No. 19388, dated 24 November 1954, namely:-

"DEFINITIONS"

The term "Seller" in these conditions shall be deemed to include the successors in title of the Seller to the remainder of the land held under the aforesaid Certificate of Registered Title No. 19388 dated 24th November, 1954.

The term "Purchaser" shall be deemed to include the heirs, Executors, Administrators or Assigns of the Purchaser of the property hereby sold.

TRADE AND OTHER RESTRICTIONS

1. Nor shall this plot be used for other than residential purposes and shall not be subdivided;
2. No sand or gravel shall be dug or removed from the lot except in the way of excavating for the foundations of any building to be erected thereon, or for use in such building or in repairing or laying out gardens to be occupied therewith, and no brick, tiles, clay or lime shall at any time be manufactured or burnt upon the lot.
3. All buildings and/or alterations erected on this lot shall be constructed of brick, stone or concrete, and no building shall be erected on the lot until the site and elevation plans thereof and the site of any offices or buildings together with the sanitation plans relating thereto, shall have been approved by the Seller in writing. No such building shall after erection, be altered without the like previous consent in writing. The Purchaser shall provide the Seller with plans in duplicate to the sellers satisfaction.
4. The Seller shall be entitled to call upon the Purchaser to screen suitably any outbuildings erected on the lot.
5. All walls, fences, live hedges or like structures abutting upon any road or pathway, shall be of a type approved of by the Seller. The Seller shall not be liable to contribute to the cost of any party of dividing fence, or wall, nor to the cost of repair thereof, but he may call upon the Purchaser to enclose the said Lot. The provision eliminating any contribution by the Seller to the cost of repair of any party or dividing fence or wall shall not extent to any adjoining lot which the Seller may sell or dispose of subsequent to the date hereof, and the Purchaser of such lot adjoining the lot hereby sold shall in all respects be subject to the laws governing contributions to such party or dividing fences or walls.
6. No wind driven appliance or windmill or wireless aerial and poles shall be erected by the Purchaser without the specific written approval thereof and permission of the Seller.
7. All buildings or structures, fences, live hedges or the like erected on the lot shall be reasonably maintained externally by the Purchaser in good order and repair, the intention being the adjoining lots shall not be depreciated by any shabby, uncared for or dilapidated buildings, structures, fences or live hedges.
8. Should any buildings or structures be erected out of compliance with these conditions, the Seller shall have the right to insist upon the demolition thereof, and the Seller shall at all reasonable times, through its proper officers, have the right of access to and inspection of any building operations conducted by the Purchaser on the lot.



WHEREFORE the said Appearer, renouncing all rights and title which the said

WERNER CRAUSE, Married as aforesaid

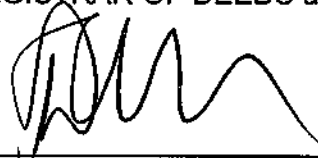
heretofore had to the premises, did in consequence also acknowledge him to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

DPFS INVESTMENTS (PROPRIETARY) LIMITED
REGISTRATION NUMBER 2016/527279/07

or its Successors in Title or assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights and finally acknowledging the purchase price to be the sum 

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on

8 June 2021. 

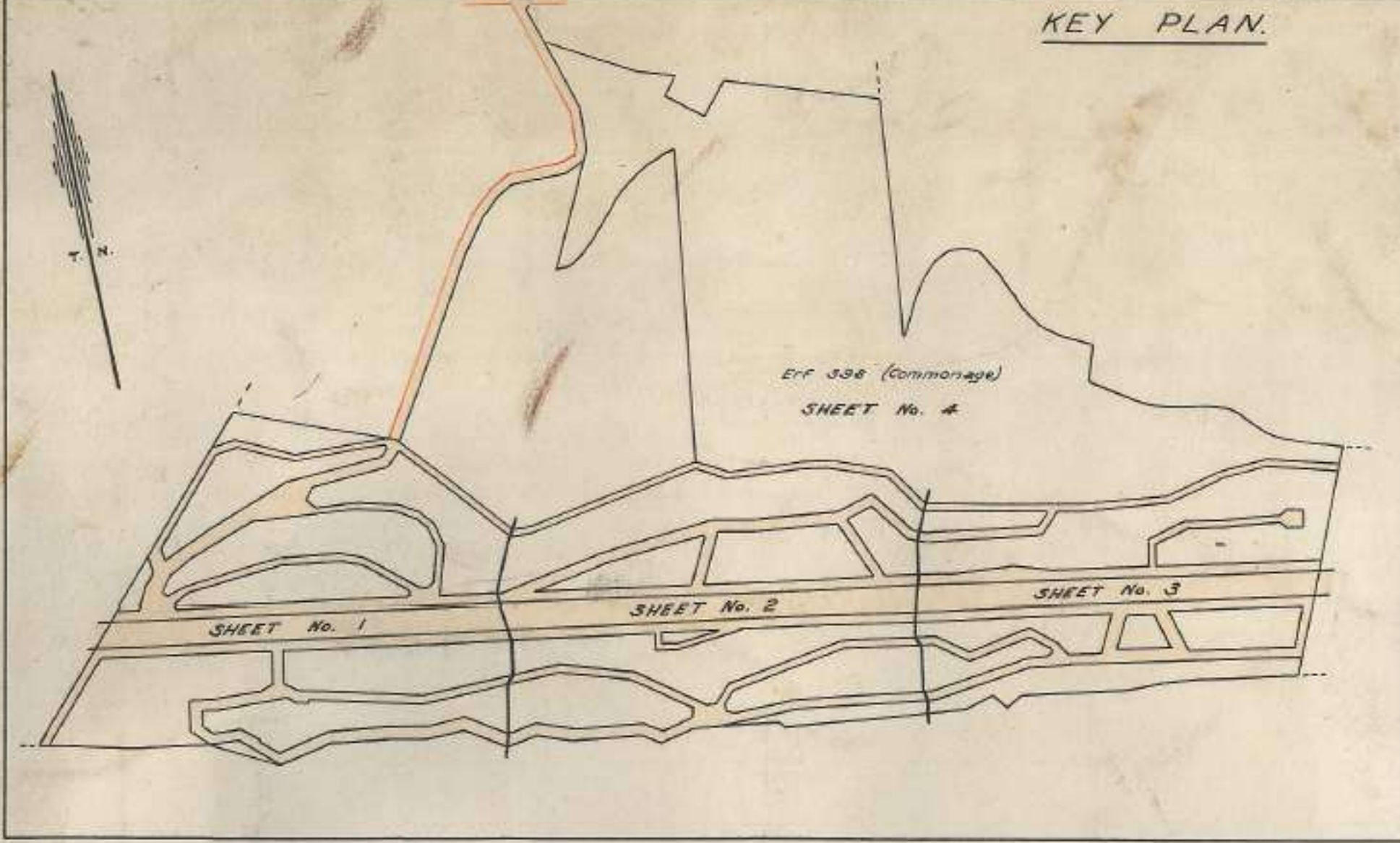
q.q.

In my presence



REGISTRAR OF DEEDS

ANNEXURE 3



This plan comprises 5 sheets
WILDERNESS A/A.
GENERAL PLAN 1065 L.D.
OF
WILDERNESS TOWNSHIP EXTENSION NO. 2.

SHEET No. 1.

No. 8096/1953

Approved

Quadrant
T. SURVEYOR-GENERAL.

In terms of Section 13 of Ordinance No. 85 of 1954, the Administrator has granted the application to establish this Township.

Number of Acres Approved Township in terms of Section 13 of Ordinance No. 85 of 1954.
See Notice No. 379 dated 10.12.54
Date 20.12.54

C.D.R.

ERF 565 comprising 374 even numbered 1-373 & 398, Public Places 374-397 and Thoroughfares, situated on PORTION 22 (a portion of Portion 21) of the farm KLEIN KRANTZ, in the DIVISION OF GEORGE, PROVINCE OF CAPE OF GOOD HOPE. Vide Dgm. No. 3015/1953, annexed to D/T 1954. 19388

The beacons of each erf represented on this plan are in accordance with regulations, and have been placed under our personal supervision.

Surveyed in May 1950 - July 1951 by us

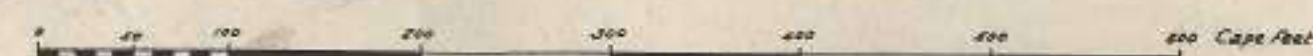
John
LAND SURVEYORS.

Passed closure of fig. 10 (A) & 11 (B) & 12 (C) & 13 (D) & 14 (E) & 15 (F) & 16 (G) & 17 (H) & 18 (I) & 19 (J) & 20 (K) & 21 (L) & 22 (M) & 23 (N) & 24 (O) & 25 (P) & 26 (Q) & 27 (R) & 28 (S) & 29 (T) & 30 (U) & 31 (V) & 32 (W) & 33 (X) & 34 (Y) & 35 (Z) & 36 (AA) & 37 (AB) & 38 (AC) & 39 (AD) & 40 (AE) & 41 (AF) & 42 (AG) & 43 (AH) & 44 (AI) & 45 (AJ) & 46 (AK) & 47 (AL) & 48 (AM) & 49 (AN) & 50 (AO) & 51 (AP) & 52 (AQ) & 53 (AR) & 54 (AS) & 55 (AT) & 56 (AU) & 57 (AV) & 58 (AW) & 59 (AX) & 60 (AY) & 61 (AZ) & 62 (BA) & 63 (BB) & 64 (BC) & 65 (BD) & 66 (BE) & 67 (BF) & 68 (BG) & 69 (BH) & 70 (BI) & 71 (BJ) & 72 (BK) & 73 (BL) & 74 (BM) & 75 (BN) & 76 (BO) & 77 (BP) & 78 (BQ) & 79 (BR) & 80 (BS) & 81 (BT) & 82 (BU) & 83 (BV) & 84 (BW) & 85 (BX) & 86 (BY) & 87 (BZ) & 88 (CA) & 89 (CB) & 90 (CC) & 91 (CD) & 92 (CE) & 93 (CF) & 94 (CG) & 95 (CH) & 96 (CI) & 97 (CJ) & 98 (CK) & 99 (CL) & 100 (CM) & 101 (CN) & 102 (CO) & 103 (CP) & 104 (CQ) & 105 (CR) & 106 (CS) & 107 (CT) & 108 (CU) & 109 (CV) & 110 (CW) & 111 (CX) & 112 (CY) & 113 (CZ) & 114 (DA) & 115 (DB) & 116 (DC) & 117 (DD) & 118 (DE) & 119 (DF) & 120 (DG) & 121 (DH) & 122 (DI) & 123 (DJ) & 124 (DK) & 125 (DL) & 126 (DM) & 127 (DN) & 128 (DO) & 129 (DP) & 130 (DQ) & 131 (DR) & 132 (DS) & 133 (DT) & 134 (DU) & 135 (DV) & 136 (DW) & 137 (DX) & 138 (DY) & 139 (DZ) & 140 (EA) & 141 (EB) & 142 (EC) & 143 (ED) & 144 (EE) & 145 (EF) & 146 (EG) & 147 (EH) & 148 (EI) & 149 (EJ) & 150 (EK) & 151 (EL) & 152 (EM) & 153 (EN) & 154 (EO) & 155 (EP) & 156 (EQ) & 157 (ER) & 158 (ES) & 159 (ET) & 160 (EU) & 161 (EV) & 162 (EW) & 163 (EX) & 164 (EY) & 165 (EZ) & 166 (FA) & 167 (FB) & 168 (FC) & 169 (FD) & 170 (FE) & 171 (FF) & 172 (FG) & 173 (FH) & 174 (FI) & 175 (FJ) & 176 (FK) & 177 (FL) & 178 (FM) & 179 (FN) & 180 (FO) & 181 (FP) & 182 (FQ) & 183 (FR) & 184 (FS) & 185 (FT) & 186 (FU) & 187 (FV) & 188 (FW) & 189 (FX) & 190 (FY) & 191 (FZ) & 192 (GA) & 193 (GB) & 194 (GC) & 195 (GD) & 196 (GE) & 197 (GF) & 198 (GG) & 199 (GH) & 200 (GI) & 201 (GJ) & 202 (GK) & 203 (GL) & 204 (GM) & 205 (GN) & 206 (GO) & 207 (GP) & 208 (GQ) & 209 (GR) & 210 (GS) & 211 (GT) & 212 (GU) & 213 (GV) & 214 (GW) & 215 (GX) & 216 (GY) & 217 (GZ) & 218 (HA) & 219 (HB) & 220 (HC) & 221 (HD) & 222 (HE) & 223 (HF) & 224 (HG) & 225 (HH) & 226 (HI) & 227 (HJ) & 228 (HK) & 229 (HL) & 230 (HM) & 231 (HN) & 232 (HO) & 233 (HP) & 234 (HQ) & 235 (HR) & 236 (HS) & 237 (HT) & 238 (HU) & 239 (HV) & 240 (HW) & 241 (HX) & 242 (HY) & 243 (HZ) & 244 (IA) & 245 (IB) & 246 (IC) & 247 (ID) & 248 (IE) & 249 (IF) & 250 (IG) & 251 (IH) & 252 (II) & 253 (IJ) & 254 (IK) & 255 (IL) & 256 (IM) & 257 (IN) & 258 (IO) & 259 (IP) & 260 (IQ) & 261 (IR) & 262 (IS) & 263 (IT) & 264 (IU) & 265 (IV) & 266 (IW) & 267 (IX) & 268 (IY) & 269 (IZ) & 270 (JA) & 271 (JB) & 272 (JC) & 273 (JD) & 274 (JE) & 275 (JF) & 276 (JG) & 277 (JH) & 278 (JI) & 279 (JJ) & 280 (JK) & 281 (JL) & 282 (JM) & 283 (JN) & 284 (JO) & 285 (JP) & 286 (JQ) & 287 (JR) & 288 (JS) & 289 (JT) & 290 (JU) & 291 (JV) & 292 (JW) & 293 (JX) & 294 (JY) & 295 (JZ) & 296 (KA) & 297 (KB) & 298 (KC) & 299 (KD) & 300 (KE) & 301 (KF) & 302 (KG) & 303 (KH) & 304 (KI) & 305 (KJ) & 306 (KK) & 307 (KL) & 308 (KM) & 309 (KN) & 310 (KO) & 311 (KP) & 312 (KQ) & 313 (KR) & 314 (KS) & 315 (KT) & 316 (KU) & 317 (KV) & 318 (KW) & 319 (KX) & 320 (KY) & 321 (KZ) & 322 (LA) & 323 (LB) & 324 (LC) & 325 (LD) & 326 (LE) & 327 (LF) & 328 (LG) & 329 (LH) & 330 (LI) & 331 (LJ) & 332 (LK) & 333 (LM) & 334 (LN) & 335 (LO) & 336 (LP) & 337 (LQ) & 338 (LR) & 339 (LS) & 340 (LT) & 341 (LU) & 342 (LV) & 343 (LW) & 344 (LX) & 345 (LY) & 346 (LZ) & 347 (MA) & 348 (MB) & 349 (MC) & 350 (MD) & 351 (ME) & 352 (MF) & 353 (MG) & 354 (MH) & 355 (MI) & 356 (MJ) & 357 (MK) & 358 (ML) & 359 (MN) & 360 (MO) & 361 (MP) & 362 (MQ) & 363 (MR) & 364 (MS) & 365 (MT) & 366 (MU) & 367 (MV) & 368 (MW) & 369 (MX) & 370 (MY) & 371 (MZ) & 372 (NA) & 373 (NB) & 374 (NC) & 375 (ND) & 376 (NE) & 377 (NF) & 378 (NG) & 379 (NH) & 380 (NI) & 381 (NJ) & 382 (NK) & 383 (NL) & 384 (NM) & 385 (NO) & 386 (NP) & 387 (NQ) & 388 (NR) & 389 (NS) & 390 (NT) & 391 (NU) & 392 (NV) & 393 (NW) & 394 (NX) & 395 (NY) & 396 (NZ) & 397 (OA) & 398 (OB) & 399 (OC) & 400 (OD) & 401 (OE) & 402 (OF) & 403 (OG) & 404 (OH) & 405 (OI) & 406 (OJ) & 407 (OK) & 408 (OL) & 409 (OM) & 410 (ON) & 411 (OO) & 412 (OP) & 413 (OQ) & 414 (OR) & 415 (OS) & 416 (OT) & 417 (OU) & 418 (OV) & 419 (OW) & 420 (OX) & 421 (OY) & 422 (OZ) & 423 (PA) & 424 (PB) & 425 (PC) & 426 (PD) & 427 (PE) & 428 (PF) & 429 (PG) & 430 (PH) & 431 (PI) & 432 (PJ) & 433 (PK) & 434 (PL) & 435 (PM) & 436 (PN) & 437 (PO) & 438 (PP) & 439 (PQ) & 440 (PR) & 441 (PS) & 442 (PT) & 443 (PU) & 444 (PV) & 445 (PW) & 446 (PX) & 447 (PY) & 448 (PZ) & 449 (QA) & 450 (QB) & 451 (QC) & 452 (QD) & 453 (QE) & 454 (QF) & 455 (QG) & 456 (QH) & 457 (QI) & 458 (QJ) & 459 (QK) & 460 (QL) & 461 (QM) & 462 (QN) & 463 (QO) & 464 (QP) & 465 (QQ) & 466 (QR) & 467 (QS) & 468 (QT) & 469 (QU) & 470 (QV) & 471 (QW) & 472 (QX) & 473 (QY) & 474 (QZ) & 475 (RA) & 476 (RB) & 477 (RC) & 478 (RD) & 479 (RE) & 480 (RF) & 481 (RG) & 482 (RH) & 483 (RI) & 484 (RJ) & 485 (RK) & 486 (RL) & 487 (RM) & 488 (RN) & 489 (RO) & 490 (RP) & 491 (RQ) & 492 (RR) & 493 (RS) & 494 (RT) & 495 (RU) & 496 (RV) & 497 (RW) & 498 (RX) & 499 (RY) & 500 (RZ) & 501 (SA) & 502 (SB) & 503 (SC) & 504 (SD) & 505 (SE) & 506 (SF) & 507 (SG) & 508 (SH) & 509 (SI) & 510 (SJ) & 511 (SK) & 512 (SL) & 513 (SM) & 514 (SN) & 515 (SO) & 516 (SP) & 517 (SQ) & 518 (SR) & 519 (SS) & 520 (ST) & 521 (SU) & 522 (SV) & 523 (SW) & 524 (SX) & 525 (SY) & 526 (SZ) & 527 (TA) & 528 (TB) & 529 (TC) & 530 (TD) & 531 (TE) & 532 (TF) & 533 (TG) & 534 (TH) & 535 (TI) & 536 (TJ) & 537 (TK) & 538 (TL) & 539 (TM) & 540 (TN) & 541 (TO) & 542 (TP) & 543 (TQ) & 544 (TR) & 545 (TS) & 546 (TT) & 547 (TU) & 548 (TV) & 549 (TW) & 550 (TX) & 551 (TY) & 552 (TZ) & 553 (UA) & 554 (UB) & 555 (UC) & 556 (UD) & 557 (UE) & 558 (UF) & 559 (UG) & 560 (UH) & 561 (UI) & 562 (UJ) & 563 (UK) & 564 (UL) & 565 (UM) & 566 (UN) & 567 (UO) & 568 (UP) & 569 (UQ) & 570 (UR) & 571 (US) & 572 (UT) & 573 (UU) & 574 (UV) & 575 (UW) & 576 (UX) & 577 (UY) & 578 (UZ) & 579 (VA) & 580 (VB) & 581 (VC) & 582 (VD) & 583 (VE) & 584 (VF) & 585 (VG) & 586 (VH) & 587 (VI) & 588 (VJ) & 589 (VK) & 590 (VL) & 591 (VM) & 592 (VN) & 593 (VO) & 594 (VP) & 595 (VQ) & 596 (VR) & 597 (VS) & 598 (VT) & 599 (VU) & 600 (VV) & 601 (VW) & 602 (VX) & 603 (VY) & 604 (VZ) & 605 (WA) & 606 (WB) & 607 (WC) & 608 (WD) & 609 (WE) & 610 (WF) & 611 (WG) & 612 (WH) & 613 (WI) & 614 (WJ) & 615 (WK) & 616 (WL) & 617 (WM) & 618 (WN) & 619 (WO) & 620 (WP) & 621 (WQ) & 622 (WR) & 623 (WS) & 624 (WT) & 625 (WU) & 626 (WV) & 627 (WW) & 628 (WX) & 629 (WY) & 630 (WZ) & 631 (XA) & 632 (XB) & 633 (XC) & 634 (XD) & 635 (XE) & 636 (XF) & 637 (XG) & 638 (XH) & 639 (XI) & 640 (XJ) & 641 (XK) & 642 (XL) & 643 (XM) & 644 (XN) & 645 (XO) & 646 (XP) & 647 (XQ) & 648 (XR) & 649 (XS) & 650 (XT) & 651 (XU) & 652 (XV) & 653 (XW) & 654 (XX) & 655 (XY) & 656 (XZ) & 657 (YA) & 658 (YB) & 659 (YC) & 660 (YD) & 661 (YE) & 662 (YF) & 663 (YG) & 664 (YH) & 665 (YI) & 666 (YJ) & 667 (YK) & 668 (YL) & 669 (YM) & 670 (YN) & 671 (YO) & 672 (YP) & 673 (YQ) & 674 (YR) & 675 (YS) & 676 (YT) & 677 (YU) & 678 (YV) & 679 (YW) & 680 (YX) & 681 (YY) & 682 (YZ) & 683 (ZA) & 684 (ZB) & 685 (ZC) & 686 (ZD) & 687 (ZE) & 688 (ZF) & 689 (ZG) & 690 (ZH) & 691 (ZI) & 692 (ZJ) & 693 (ZK) & 694 (ZL) & 695 (ZM) & 696 (ZN) & 697 (ZO) & 698 (ZP) & 699 (ZQ) & 700 (ZR) & 701 (ZS) & 702 (ZT) & 703 (ZU) & 704 (ZV) & 705 (ZW) & 706 (ZX) & 707 (ZY) & 708 (ZZ) & 709 (AA) & 710 (AB) & 711 (AC) & 712 (AD) & 713 (AE) & 714 (AF) & 715 (AG) & 716 (AH) & 717 (AI) & 718 (AJ) & 719 (AK) & 720 (AL) & 721 (AM) & 722 (AN) & 723 (AO) & 724 (AP) & 725 (AQ) & 726 (AR) & 727 (AS) & 728 (AT) & 729 (AU) & 730 (AV) & 731 (AW) & 732 (AX) & 733 (AY) & 734 (AZ) & 735 (BA) & 736 (BB) & 737 (BC) & 738 (BD) & 739 (BE) & 740 (BF) & 741 (BG) & 742 (BH) & 743 (BI) & 744 (BJ) & 745 (BK) & 746 (BL) & 747 (BM) & 748 (BN) & 749 (BO) & 750 (BP) & 751 (BQ) & 752 (BR) & 753 (BS) & 754 (BT) & 755 (BU) & 756 (BV) & 757 (BW) & 758 (BX) & 759 (BY) & 760 (BZ) & 761 (CA) & 762 (CB) & 763 (CC) & 764 (CD) & 765 (CE) & 766 (CF) & 767 (CG) & 768 (CH) & 769 (CI) & 770 (CJ) & 771 (CK) & 772 (CL) & 773 (CM) & 774 (CN) & 775 (CO) & 776 (CP) & 777 (CQ) & 778 (CR) & 779 (CS) & 780 (CT) & 781 (CU) & 782 (CV) & 783 (CW) & 784 (CX) & 785 (CY) & 786 (CZ) & 787 (DA) & 788 (DB) & 789 (DC) & 790 (DD) & 791 (DE) & 792 (DF) & 793 (DG) & 794 (DH) & 795 (DI) & 796 (DJ) & 797 (DK) & 798 (DL) & 799 (DM) & 800 (DN) & 801 (DO) & 802 (DP) & 803 (DQ) & 804 (DR) & 805 (DS) & 806 (DT) & 807 (DU) & 808 (DV) & 809 (DW) & 810 (DX) & 811 (DY) & 812 (DZ) & 813 (EA) & 814 (EB) & 815 (EC) & 816 (ED) & 817 (EE) & 818 (EF) & 819 (EG) & 820 (EH) & 821 (EI) & 822 (EJ) & 823 (EK) & 824 (EL) & 825 (EM) & 826 (EN) & 827 (EO) & 828 (EP) & 829 (EQ) & 830 (ER) & 831 (ES) & 832 (ET) & 833 (EU) & 834 (EV) & 835 (EW) & 836 (EX) & 837 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(LY) & 1018 (LZ) & 1019 (MA) & 1020 (MB) & 1021 (MC) & 1022 (MD) & 1023 (ME) & 1024 (MF) & 1025 (MG) & 1026 (MH) & 1027 (MI) & 1028 (MJ) & 1029 (MK) & 1030 (ML) & 1031 (MN) & 1032 (MO) & 1033 (MP) & 1034 (MQ) & 1035 (MR) & 1036 (MS) & 1037 (MT) & 1038 (MU) & 1039 (MV) & 1040 (MW) & 1041 (MX) & 1042 (MY) & 1043 (MZ) & 1044 (NA) & 1045 (NB) & 1046 (NC) & 1047 (ND) & 1048 (NE) & 1049 (NF) & 1050 (NG) & 1051 (NH) & 1052 (NI) & 1053 (NJ) & 1054 (NK) & 1055 (NL) & 1056 (NM) & 1057 (NO) & 1058 (NP) & 1059 (NQ) & 1060 (NR) & 1061 (NS) & 1062 (NT) & 1063 (NU) & 1064 (NV) & 1065 (NW) & 1066 (NX) & 1067 (NY) & 1068 (NZ) & 1069 (OA) & 1070 (OB) & 1071 (OC) & 1072 (OD) & 1073 (OE) & 1074 (OF) & 1075 (OG) & 1076 (OH) & 1077 (OI) & 1078 (OJ) & 1079 (OK) & 1080 (OL) & 1081 (OM) & 1082 (ON) & 1083 (OO) & 1084 (OP) & 1085 (OQ) & 1086 (OR) & 1087 (OS) & 1088 (OT) & 1089 (OU) & 1090 (OV) & 1091 (OW) & 1092 (OX) & 1093 (OY) & 1094 (OZ) & 1095 (PA) & 1096 (PB) & 1097 (PC) & 1098 (PD) & 1099 (PE) & 1100 (PF) & 1101 (PG) & 1102 (PH) & 1103 (PI) & 1104 (PJ) & 1105 (PK) & 1106 (PL) & 1107 (PM) & 1108 (PN) & 1109 (PO) & 1110 (PP) & 1111 (PQ) & 1112 (PR) & 1113 (PS) & 1114 (PT) & 1115 (PU) & 1116 (PV) & 1117 (PW) & 1118 (PX) & 1119 (PY) & 1120 (PZ) & 1121 (QA) & 1122 (QB) & 1123 (QC) & 1124 (QD) & 1125 (QE) & 1126 (QF) & 1127 (QG) & 1128 (QH) & 1129 (QI) & 1130 (QJ) & 1131 (QK) & 1132 (QL) & 1133 (QM) & 1134 (QN) & 1135 (QO) & 1136 (QP) &

C.D.R.

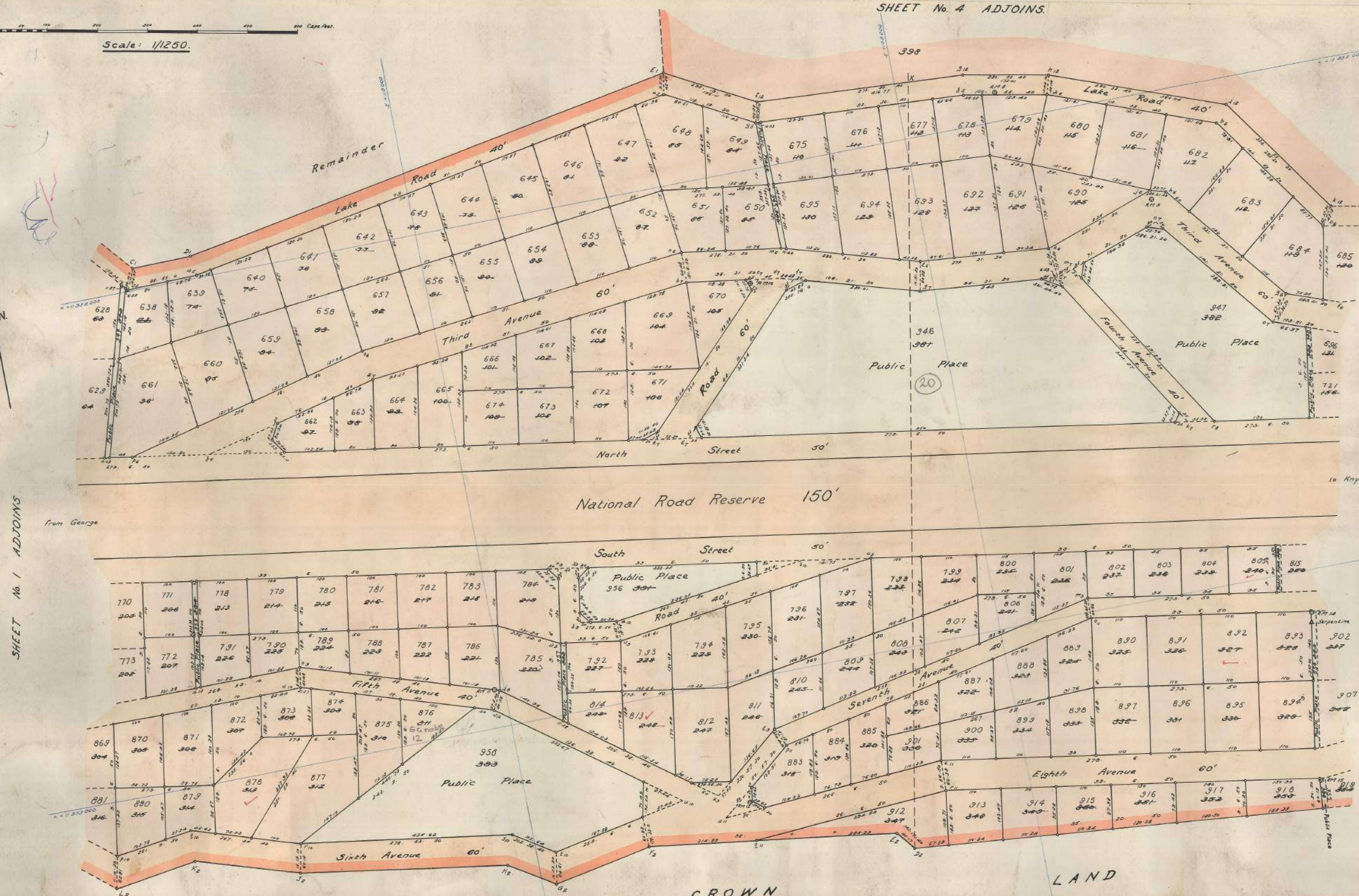
Surveyed in May 1950 - July 1951 by us

T. Harschal.
LAND SURVEYORS



Scale: 1/1250.

SHEET No. 4 ADJOINS.



SHEET No. 1 ADJOINS

SHEET No. 3 ADJOINS

High

INDIAN OCEAN

LAND

Orig. Dgm. No. 3015/53.
S.G. File 3.8692/3.
Svy. Reads E. 2008/53.
Deg. Shts. BL-8CC, BL-8CD,
BL-8CD/2/3 14106
AL-2AA, AL-2AB/m
AL-2AP/V52

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T P

GENERAL PLAN 1065 LD OF WILDERNESS TOWNSHIP EXTENSION NO. 2.

C.D.R.

Surveyed in May 1950 - July 1951 by us

J. H. H. H. H.
T. H. H. H. H.

LAND SURVEYORS.

BEACONS.

- V1, W1, X1, Y1, Z1, A2
B2, C2, D2, E2, F2, G2
H2, I2, J2, K2, L2, M2
N2, O2, P2, Q2, R2, S2
T2, U2, V2, W2, X2, Y2, Z2
A3, B3, C3, D3, E3, F3, G3
H3, I3, J3, K3, L3, M3
N3, O3, P3, Q3, R3, S3
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N4, O4, P4, Q4, R4, S4
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WILDERNESS A/A
GENERAL PLAN 1065 LD OF WILDERNESS TOWNSHIP EXTENSION NO. 2

Sheet No. 4.
No. 8096/1953
Approved
C.D.R. *Chas. J. Moore*
f SURVEYOR-GENERAL

Surveyed in May 1950 - July 1951 by *W. J. Moore*

ERF NOS.	AREAS Sq. Ft.	DIAGRAM NOS.	TRANSFER REF.	ERF NOS.	AREAS Sq. Ft.	DIAGRAM NOS.	TRANSFER REF.	ERF NOS.	AREAS Sq. Ft.	DIAGRAM NOS.	TRANSFER REF.
1	1,200.00	5118/1953	3584	134	1,200.00	1744/66		267	1,200.00	9866/69	1955
2	1,200.00	3008/1965		135	1,200.00	1745/66		268	1,200.00	9867/69	
3	1,200.00	3009/1965		136	1,200.00	1746/66		269	1,200.00	9868/69	
4	1,200.00	3010/1965		137	1,200.00	1747/66		270	1,200.00	9869/69	
5	1,200.00	3011/1965		138	1,200.00	1748/66		271	1,200.00	9870/69	
6	1,200.00	3012/1965		139	1,200.00	1749/66		272	1,200.00	9871/69	
7	1,200.00	3013/1965		140	1,200.00	1750/66		273	1,200.00	9872/69	
8	1,200.00	3014/1965		141	1,200.00	1751/66		274	1,200.00	9873/69	
9	1,200.00	3015/1965		142	1,200.00	1752/66		275	1,200.00	9874/69	
10	1,200.00	3016/1965		143	1,200.00	1753/66		276	1,200.00	9875/69	
11	1,200.00	3017/1965		144	1,200.00	1754/66		277	1,200.00	9876/69	
12	1,200.00	3018/1965		145	1,200.00	1755/66		278	1,200.00	9877/69	
13	1,200.00	3019/1965		146	1,200.00	1756/66		279	1,200.00	9878/69	
14	1,200.00	3020/1965		147	1,200.00	1757/66		280	1,200.00	9879/69	
15	1,200.00	3021/1965		148	1,200.00	1758/66		281	1,200.00	9880/69	
16	1,200.00	3022/1965		149	1,200.00	1759/66		282	1,200.00	9881/69	
17	1,200.00	3023/1965		150	1,200.00	1760/66		283	1,200.00	9882/69	
18	1,200.00	3024/1965		151	1,200.00	1761/66		284	1,200.00	9883/69	
19	1,200.00	3025/1965		152	1,200.00	1762/66		285	1,200.00	9884/69	
20	1,200.00	3026/1965		153	1,200.00	1763/66		286	1,200.00	9885/69	
21	1,200.00	3027/1965		154	1,200.00	1764/66		287	1,200.00	9886/69	
22	1,200.00	3028/1965		155	1,200.00	1765/66		288	1,200.00	9887/69	
23	1,200.00	3029/1965		156	1,200.00	1766/66		289	1,200.00	9888/69	
24	1,200.00	3030/1965		157	1,200.00	1767/66		290	1,200.00	9889/69	
25	1,200.00	3031/1965		158	1,200.00	1768/66		291	1,200.00	9890/69	
26	1,200.00	3032/1965		159	1,200.00	1769/66		292	1,200.00	9891/69	
27	1,200.00	3033/1965		160	1,200.00	1770/66		293	1,200.00	9892/69	
28	1,200.00	3034/1965		161	1,200.00	1771/66		294	1,200.00	9893/69	
29	1,200.00	3035/1965		162	1,200.00	1772/66		295	1,200.00	9894/69	
30	1,200.00	3036/1965		163	1,200.00	1773/66		296	1,200.00	9895/69	
31	1,200.00	3037/1965		164	1,200.00	1774/66		297	1,200.00	9896/69	
32	1,200.00	3038/1965		165	1,200.00	1775/66		298	1,200.00	9897/69	
33	1,200.00	3039/1965		166	1,200.00	1776/66		299	1,200.00	9898/69	
34	1,200.00	3040/1965		167	1,200.00	1777/66		300	1,200.00	9899/69	
35	1,200.00	3041/1965		168	1,200.00	1778/66		301	1,200.00	9900/69	
36	1,200.00	3042/1965		169	1,200.00	1779/66		302	1,200.00	9901/69	
37	1,200.00	3043/1965		170	1,200.00	1780/66		303	1,200.00	9902/69	
38	1,200.00	3044/1965		171	1,200.00	1781/66		304	1,200.00	9903/69	
39	1,200.00	3045/1965		172	1,200.00	1782/66		305	1,200.00	9904/69	
40	1,200.00	3046/1965		173	1,200.00	1783/66		306	1,200.00	9905/69	
41	1,200.00	3047/1965		174	1,200.00	1784/66		307	1,200.00	9906/69	
42	1,200.00	3048/1965		175	1,200.00	1785/66		308	1,200.00	9907/69	
43	1,200.00	3049/1965		176	1,200.00	1786/66		309	1,200.00	9908/69	
44	1,200.00	3050/1965		177	1,200.00	1787/66		310	1,200.00	9909/69	
45	1,200.00	3051/1965		178	1,200.00	1788/66		311	1,200.00	9910/69	
46	1,200.00	3052/1965		179	1,200.00	1789/66		312	1,200.00	9911/69	
47	1,200.00	3053/1965		180	1,200.00	1790/66		313	1,200.00	9912/69	
48	1,200.00	3054/1965		181	1,200.00	1791/66		314	1,200.00	9913/69	
49	1,200.00	3055/1965		182	1,200.00	1792/66		315	1,200.00	9914/69	
50	1,200.00	3056/1965		183	1,200.00	1793/66		316	1,200.00	9915/69	
51	1,200.00	3057/1965		184	1,200.00	1794/66		317	1,200.00	9916/69	
52	1,200.00	3058/1965		185	1,200.00	1795/66		318	1,200.00	9917/69	
53	1,200.00	3059/1965		186	1,200.00	1796/66		319	1,200.00	9918/69	
54	1,200.00	3060/1965		187	1,200.00	1797/66		320	1,200.00	9919/69	
55	1,200.00	3061/1965		188	1,200.00	1798/66		321	1,200.00	9920/69	
56	1,200.00	3062/1965		189	1,200.00	1799/66		322	1,200.00	9921/69	
57	1,200.00	3063/1965		190	1,200.00	1800/66		323	1,200.00	9922/69	
58	1,200.00	3064/1965		191	1,200.00	1801/66		324	1,200.00	9923/69	
59	1,200.00	3065/1965		192	1,200.00	1802/66		325	1,200.00	9924/69	
60	1,200.00	3066/1965		193	1,200.00	1803/66		326	1,200.00	9925/69	
61	1,200.00	3067/1965		194	1,200.00	1804/66		327	1,200.00	9926/69	
62	1,200.00	3068/1965		195	1,200.00	1805/66		328	1,200.00	9927/69	
63	1,200.00	3069/1965		196	1,200.00	1806/66		329	1,200.00	9928/69	
64	1,200.00	3070/1965		197	1,200.00	1807/66		330	1,200.00	9929/69	
65	1,200.00	3071/1965		198	1,200.00	1808/66		331	1,200.00	9930/69	
66	1,200.00	3072/1965		199	1,200.00	1809/66		332	1,200.00	9931/69	
67	1,200.00	3073/1965		200	1,200.00	1810/66		333	1,200.00	9932/69	
68	1,200.00	3074/1965		201	1,200.00	1811/66		334	1,200.00	9933/69	
69	1,200.00	3075/1965		202	1,200.00	1812/66		335	1,200.00	9934/69	
70	1,200.00	3076/1965		203	1,200.00	1813/66		336	1,200.00	9935/69	
71	1,200.00	3077/1965		204	1,200.00	1814/66		337	1,200.00	9936/69	
72	1,200.00	3078/1965		205	1,200.00	1815/66		338	1,200.00	9937/69	
73	1,200.00	3079/1965		206	1,200.00	1816/66		339	1,200.00	9938/69	
74	1,200.00	3080/1965		207	1,200.00	1817/66		340	1,200.00	9939/69	
75	1,200.00	3081/1965		208	1,200.00	1818/66		341	1,200.00	9940/69	
76	1,200.00	3082/1965		209	1,200.00	1819/66		342	1,200.00	9941/69	
77	1,200.00	3083/1965		210	1,200.00	1820/66		343	1,200.00	9942/69	
78	1,200.00	3084/1965		211	1,200.00	1821/66		344	1,200.00	9943/69	
79	1,200.00	3085/1965		212	1,200.00	1822/66		345	1,200.00	9944/69	
80	1,200.00	3086/1965		213	1,200.00	1823/66		346	1,200.00	9945/69	
81	1,200.00	3087/1965		214	1,200.00	1824/66		347	1,200.00	9946/69	
82	1,200.00	3088/1965		215	1,200.00	1825/66		348	1,200.00	9947/69	
83	1,200.00	3089/1965		216	1,200.00	1826/66		349	1,200.00	9948/69	
84	1,200.00	3090/1965		217	1,200.00	1827/66		350	1,200.00	9949/69	
85	1,200.00	3091/1965		218	1,200.00	1828/66		351	1,200.00	9950/69	
86	1,200.00	3092/1965		219	1,200.00	1829/66		352	1,200.00	9951/69	
87	1,200.00	3093/1965		220	1,200.00	1830/66		353	1,200.00	9952/69	
88	1,200.00	3094/1965		221	1,200.00	1831/66		354	1,200.00	9953/69	
89	1,200.00	3095/1965		222	1,200.00	1832/66		355	1,200.00	9954/69	
90	1,200.00	3096/1965		223	1,200.00	1833/66		356	1,200.00	9955/69	
91	1,200.00	3097/1965		224	1,200.00	1834/66		357	1,200.00	9956/69	
92	1,200.00	3098/1965		225	1,200.00	1835/66		358	1,200.00	9957/69	
93	1,200.00	3099/1965		226	1,200.00	1836/66		359	1,200.00	9958/69	
94	1,200.00	3100/1965		227	1,200.00	1837/66		360	1,200.00	9959/69	
95	1,200.00	3101/1965		228	1,200.00	1838/66		361	1,200.00	9960/69	
96	1,200.00	3102/1965		229	1,200.00	1839/66		362	1,200.00	9961/69	
97	1,200.00	3103/1965		230	1,200.00	1840/66		363	1,200.00	9962/69	
98	1,200.00	3104/1965		231	1,200.00	1841/66		364	1,200.00	9963/69	
99	1,200.00	3105/1965		232	1,200.00	1842/66		365	1,200.00	9964/69	
100	1,200.00	3106/1965		233	1,200.00	1843/66		366	1,200.00	9965/69	
101	1,200.00	3107/1965		234	1,200.00	1844/66		367	1,200.00	9966/69	
102	1,200.00	3108/1965		235	1,200.00						

ANNEXURE 4

CONVEYANCER'S CERTIFICATE

I, the undersigned

MADELEINE GOLDIE

Conveyancer of Uys Fourie Attorneys, Shamrock Building, 97 York Street, George do hereby certify as follows:

1. That I have perused Deed of Transfer No T28275/2021 in respect of Erf 788 WILDERNESS in the George Municipality and Division of George, Western Cape Province IN EXTENT 917 square metres registered in the name of:

DPFS INVESTMENTS PROPRIETARY LIMITED

Registration Number 2016/527279/07

2. No bond is registered on the property.
3. In terms of Condition of Title B(4)(d) in the above mentioned Deed of Transfer, Administrator's consent will be obtained in terms of Section 39(4) of the Western Cape Land Use Planning Act, 2014 (LUPA) for the relaxation of the eastern and western side building lines to 0.0m for existing stairs and retaining walls.
4. To the best of my knowledge there are no further restrictive conditions of title in the said Deed of Transfer which prohibit:

- **Permanent departure** in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-law (2023) for the following deviations of retaining walls:
 - **Increase** the permissible ground floor of a building to be raised from 1.0m to 2.55m
 - **Increase** the maximum height of the western boundary wall from 2.1m to 3.552m
 - **Increase** the maximum height of the eastern boundary wall from 2.1m to 2.871m
- **Permanent departure** in terms of Section 15(2)(b) of the George Municipality: Land Use Planning By-law (2023) for the relaxation of the following building lines:



- western side building line from 2.0m to 0.0m for existing stairs.

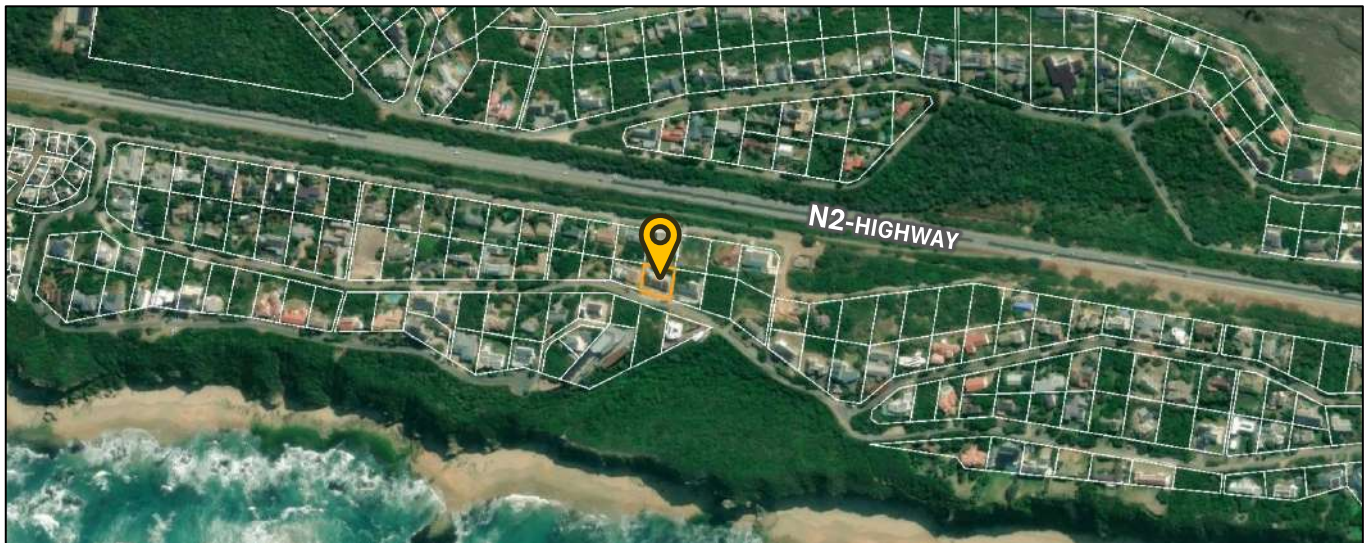
Signed at GEORGE on this 2nd day of JULY 2026

A handwritten signature in black ink, appearing to read 'M Goldie'.

MADELEINE GOLDIE

ANNEXURE 5

LOCALITY PLAN



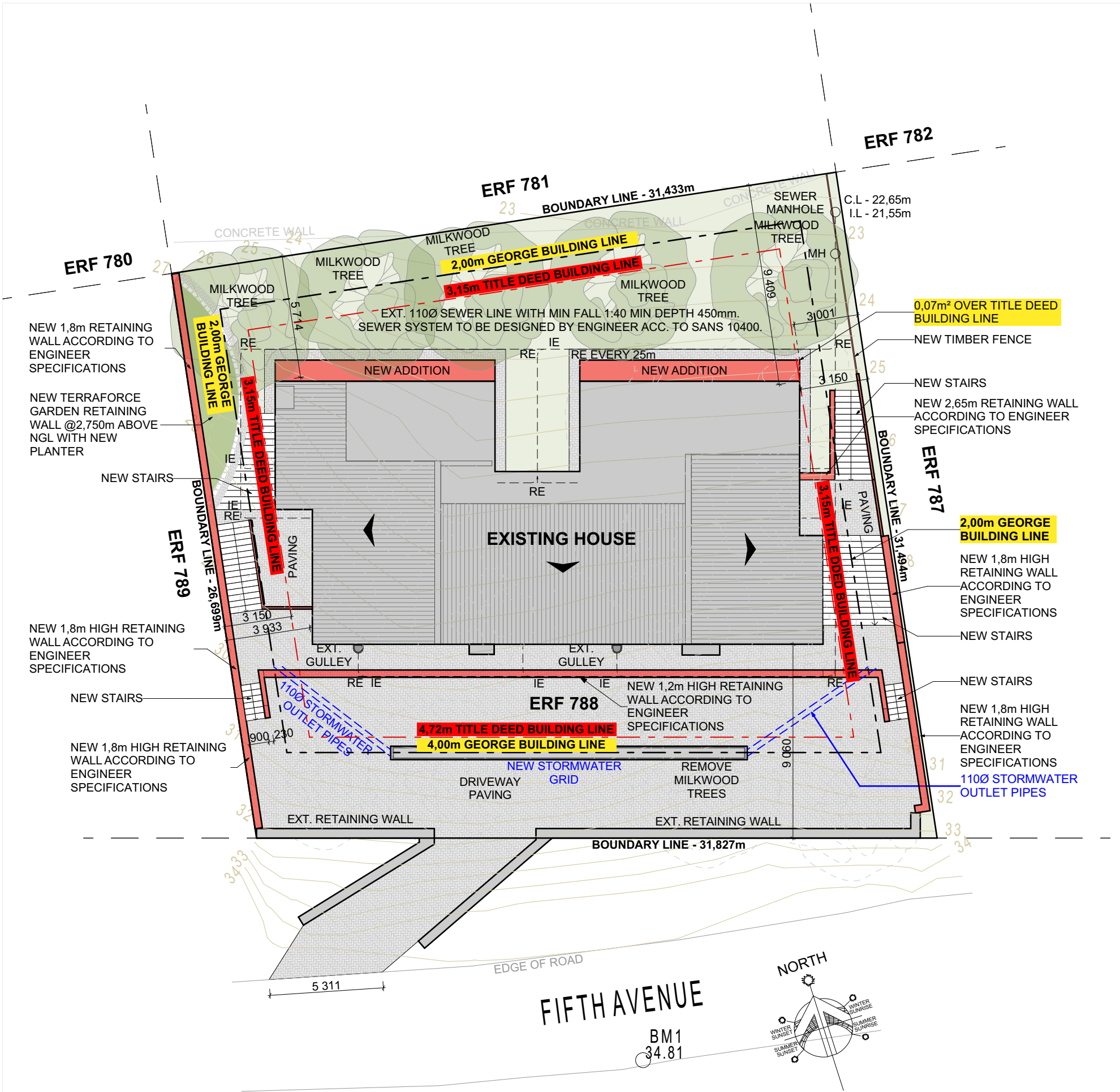
Copyright ©

**ERF 788,
5TH AVENUE, WILDERNESS EAST
GEORGE MUNICIPALITY & DIVISION**

For scale refer to figured dimensions. Measurements always to be checked by Professional Land Surveyor.

ANNEXURE 6

OFFICIAL USE



SITE PLAN
Scale 1:200 (on A2 Sheet)

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SOUTH AFRICAN COUNCIL FOR THE ARCHITECTURAL PROFESSION
MARIUS SMITH Pr.Snr.Arch.T - ST0609

NOTES:
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AT NO TIME MUST BE SCALED FROM ANY DRAWINGS, USE ONLY DIMENSIONS GIVEN. CONTRACTOR MUST BRING ALL DISCREPANCIES UNDER THE ATTENTION OF M SMITH ARCHITECTURAL GROUP (Pty)Ltd.

NO CHANGES MAY BE MADE TO THE BUILDING (ADDING ON OR LEAVING OUT) WITHOUT THE WRITTEN APPROVAL OF M SMITH ARCHITECTURAL GROUP (Pty)Ltd.

REVISIONS

No.	Date	Name	Description

M Smith Architectural Group (Pty)Ltd 2023/768767/07 SACAP REG. NO.: ST0609



8B COMMERCIAL CLOSE,
EASTERN EXT, GEORGE
GARDEN ROUTE

H4: DWELLING HOUSE
ZONING: SRZI

Cell: 082 640 2544
info@msmith.co.za
www.msmith.co.za

PROJECT
**ADDITIONS FOR
DPFS INVESTMENTS (PTY)Ltd
ON 788
WILDERNESS
GEORGE**

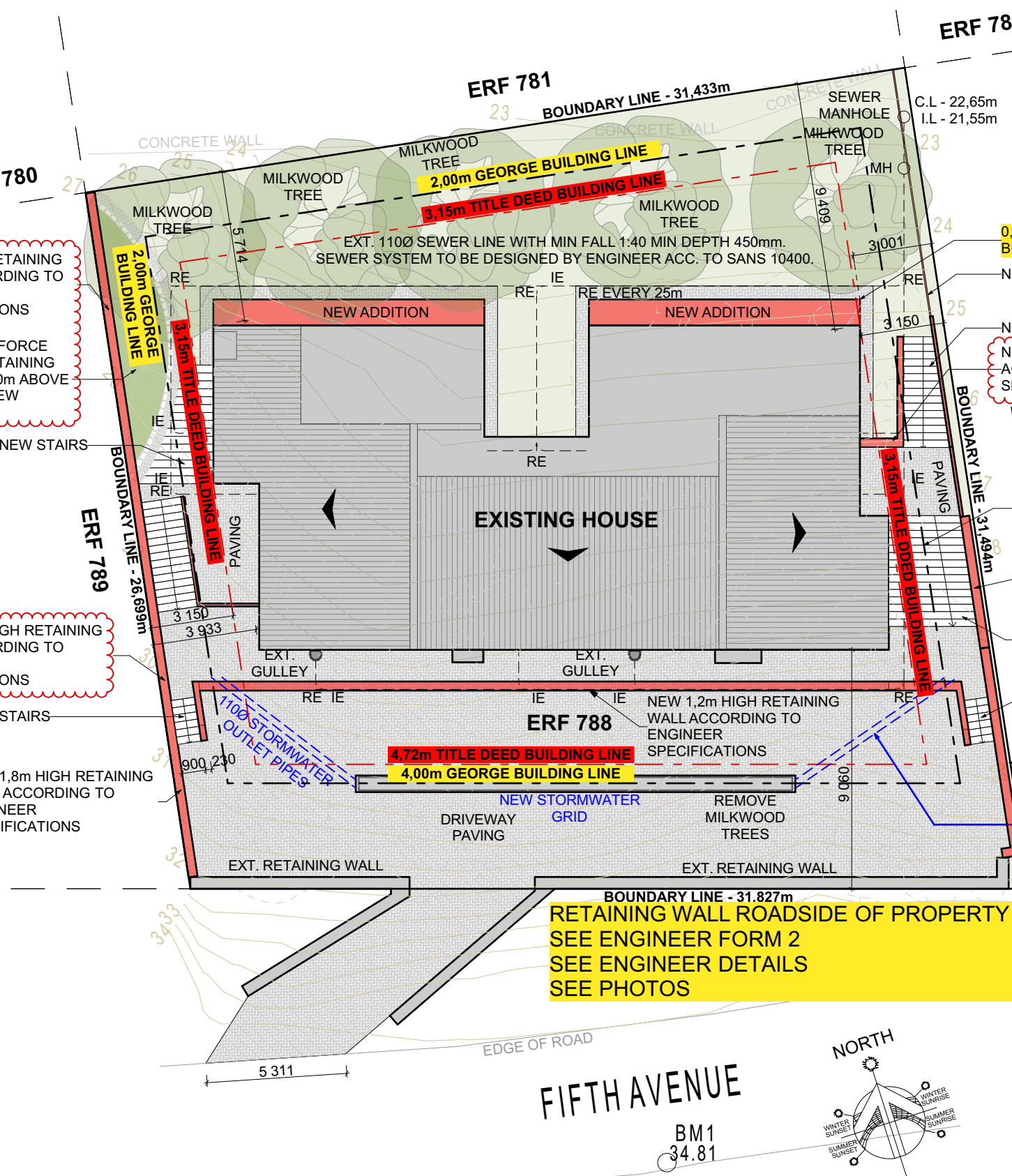
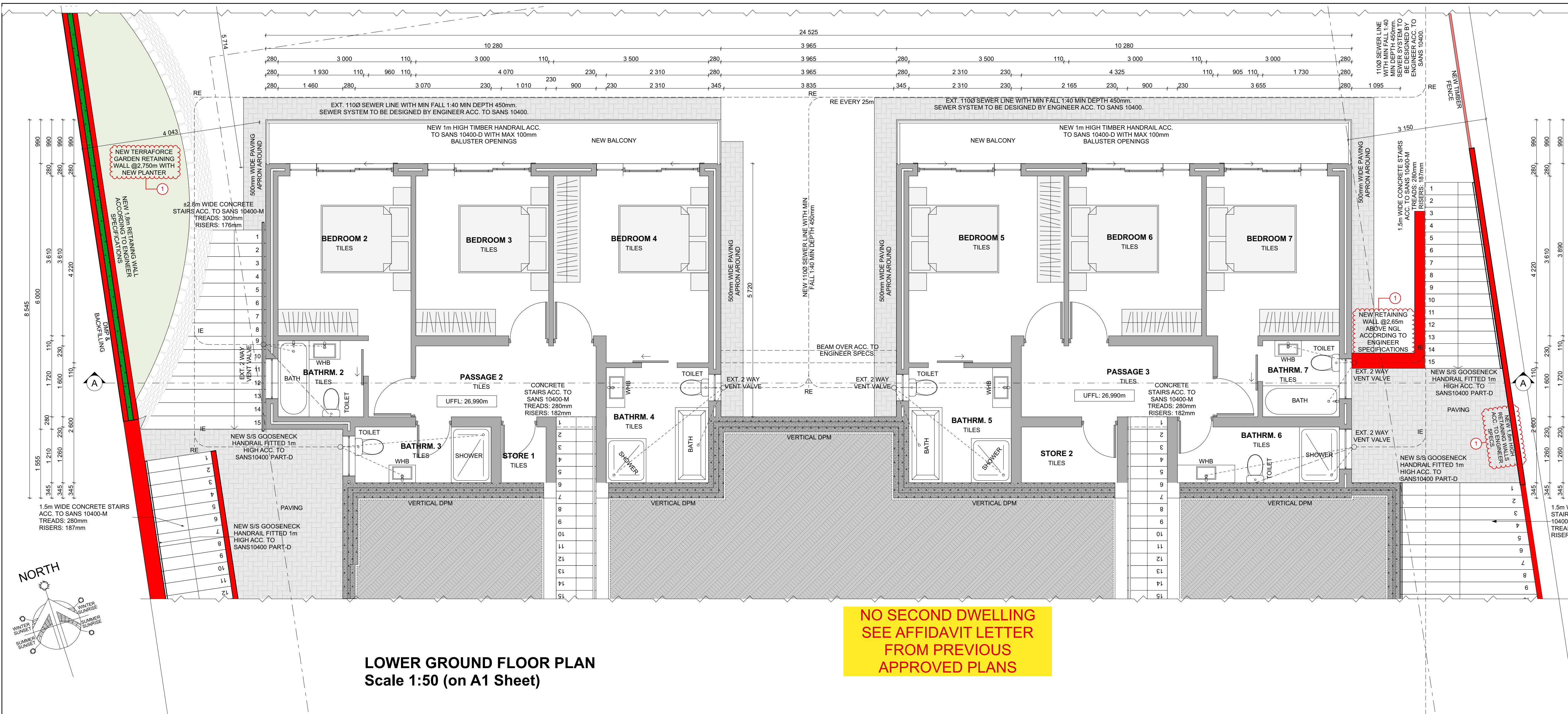
SITE PLAN

SCALE 1:200	PROJECT NUMBER 2301-01
DRAWING NUMBER M008	REVISION 0
DATE PRINT ISSUED: 2026/08/05	DRAWN M VD MERWE
	CHECKED

APPROVED
BY CLIENT

SIGNATURE:

ANNEXURE 7



AREA SCHEDULE:

149,56m ²	- EXISTING LOWER GROUND FLOOR
196,14m ²	- EXISTING GROUND FLOOR
345,70m²	- TOTAL EXISTING AREA
20,36m ²	- LOWER GROUND FLOOR ADDITIONS
20,36m ²	- NEW GROUND FLOOR ADDITIONS
115,44m ²	- NEW BASEMENT AREA
156,16m²	- TOTAL NEW AREA
501,86m²	- TOTAL AREA
915,12m²	- ERF AREA
32,8% COVERAGE (299,81m²)	

50,9m² - TOTAL m² OF AS-BUILT STAIRS AND RETAINING WALLS OVER THE 2m ZONING SCHEME BUILDING LINE

OWNER + BUILDING CONTRACTORS AND SUB-CONTRACTORS TO COMPLY WITH THE FOLLOWING REQUIREMENTS OF SANS 10400 / SANS 204 / SANS XA:

B. Structural: The Structural system of the building: Part H + Part J + Part K + Part L + Part M + Part N - as well as a competent person (structures) to design and inspect the structures.

D. Public Safety: A change in level, the construction of ramps and driveways; or access to swimming pools is in accordance with the detailed requirements of SANS 10400-D.

F. Site Operations: The provision of sanitary facilities is in accordance with the detailed requirements of SANS 10400-F.

G. Excavations: The excavations must be less than 3 meters deep and is in accordance with the detailed requirements of SANS 10400-G.

H. Foundations: New structures will necessitate geotechnical investigations with the applicable rules. The foundations for the building are in accordance with SANS 10400-B and detailed requirements of SANS 10400-H.

The foundations to the extension / addition to an existing building are the same as the existing foundations, which have performed satisfactory. Should any soil improvements be required - a competent person (civil engineering / geotechnical) are to be appointed.

J. Floors: Floors in any Laundry, kitchen, shower room, bathroom or room containing a toilet pan or urinal are in accordance with the detailed requirements of SANS 10400-J (waterproofing or applicable areas). Suspended floors are in accordance with the detailed requirements of SANS 10400-B and SANS 10400-T and or requirements of SANS 10082 and or requirements of SANS 10400-J. Slabs supported on the ground are in accordance with the detailed requirements of SANS 10400-B and or SANS 10400-H and or SANS 10400-J.

K. Walls: The structural strength and stability of a wall is in accordance with the detailed requirements of SANS 10400-B and SANS 10400-T and or detailed requirements of SANS 10400-K. The roof fixing to the wall is in accordance with the detailed requirements of SANS 10400-B and or detailed requirements of SANS 10400-K.

The water penetration through a wall is in accordance with the detailed requirements of SANS 10400-K.

L. Roofs: Roof coverings and waterproofing systems are in accordance with the detailed requirements of SANS 10400-L. Flat roofs or related gutters are in accordance with the detailed requirements of SANS 10400-L and or subject of a rational design or rational assessment. The roof assembly and any ceiling assembly - in addition to complying with the requirements of SANS 10400-C are in accordance with the detailed requirements of SANS 10400-L and the roof assembly is supported on walls that comply with the requirements of SANS 10400-K and or in accordance with SANS 10400-B and SANS 10400-L. Gutters and downpipes are sized in accordance with the requirements of SANS 10400-R. The fire resistance and combustibility of the roof assembly or ceiling are in accordance with the detailed requirements of SANS 10400-L and or SANS 10400-T.

M. Stairways: Stairways are in accordance with SANS 10400-B and SANS 10400-T and or: the detailed requirements of SANS 10400-M. Walls, screens, railings or balustrades to such stairways are in accordance with requirements of SANS 10400-B and SANS 10400-T / SANS 10400-L and or SANS 10400-T.

N. Glazing: The type of fixing of glazing is in accordance with SANS 10400-B / the detailed requirements of SANS 10400-N.

O. Lighting and Ventilation: The lighting and ventilation in a habitable room, bathroom, shower room and room containing a toilet pan complies with the requirements of SANS 10400-T and the detailed requirements of SANS 10400-O.

P. Sewer Drainage: The construction of the drainage system is in accordance with the detailed requirements of SANS 10400-P.

Q. Non-water borne means of sanitary disposal: The means of sewerage disposal where water-borne sewerage disposal is not available is in accordance with the detailed requirements of SANS 10400-Q.

R. Storm water disposal: The means for the control and disposal of storm water is in accordance with the detailed requirements of SANS 10400-R.

S. Persons with Disabilities: The means of providing facilities for persons with disabilities is in accordance with the detailed requirements of SANS 10400-S.

T. Fire protection: The fire protection measures provided are in accordance with the detailed requirements of SANS 10400-T.

V. Space heating: The provision for space heating is in accordance with the detailed requirements of SANS 10400-V.

W. Fire installation: The fire installations and supply of water comply with the detailed requirements of SANS 10400-W.

Contractor to take responsibility that all details and reports of SANS 10400-XA & SANS 204 and it will be adhered to.

Main Contractor to comply with above requirements of SANS 10400 / SANS 204 / SANS 10400-XA (See attached report of SANS 10400-XA and SANS 204)

OWNER SIGNATURE: _____ **DATE:** _____

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SOUTH AFRICAN COUNCIL FOR THE ARCHITECTURAL PROFESSION
MARIUS SMITH Pr.Snr.Arch.T - ST0609

ALL STAIRS ACCORDING TO SANS 10400 - M:
RISERS MAX 200mm
TREADS MIN 250mm
HANDRAIL @ 900mm HEIGHT
BALUSTRADES MAX 100mm CENTRES
HEAD HEIGHT VERTICAL FROM STAIR NOSE 2,1m MIN

ALL FLOORS IN ANY LAUNDRY, KITCHEN, SHOWER ROOM, BATHROOM OR ROOM CONTAINING A TOILET PAN OR URINAL ARE IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400-J

ROOF FIXINGS TO COMPLY WITH SANS 10400-B & THE DETAILED REQUIREMENTS OF SANS 10400-K

DPG REQUIRED UNDERNEATH ALL WINDOWS

Carport / Open Patio (if any) to remain open as per building plan.
Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.2.1).
Drainage installation to comply with SANS 10400 Part P.
Drainage installations under building work must be installed in terms of Part P of SANS 10400 (4.19.4).
Drainage installations under building work must be protected in terms of Part P of SANS 10400 (4.22.2).

NOTES:
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REVISIONS			
No.	Date	Name	Description
01	2026-04-14		HEIGHTS OF RETAINING AND TERRAFORCE WALLS ADDED

M Smith Architectural Group (Pty)Ltd 2023/768767/07 SACAP REG. NO.: ST0609

M SMITH ARCHITECTURAL GROUP
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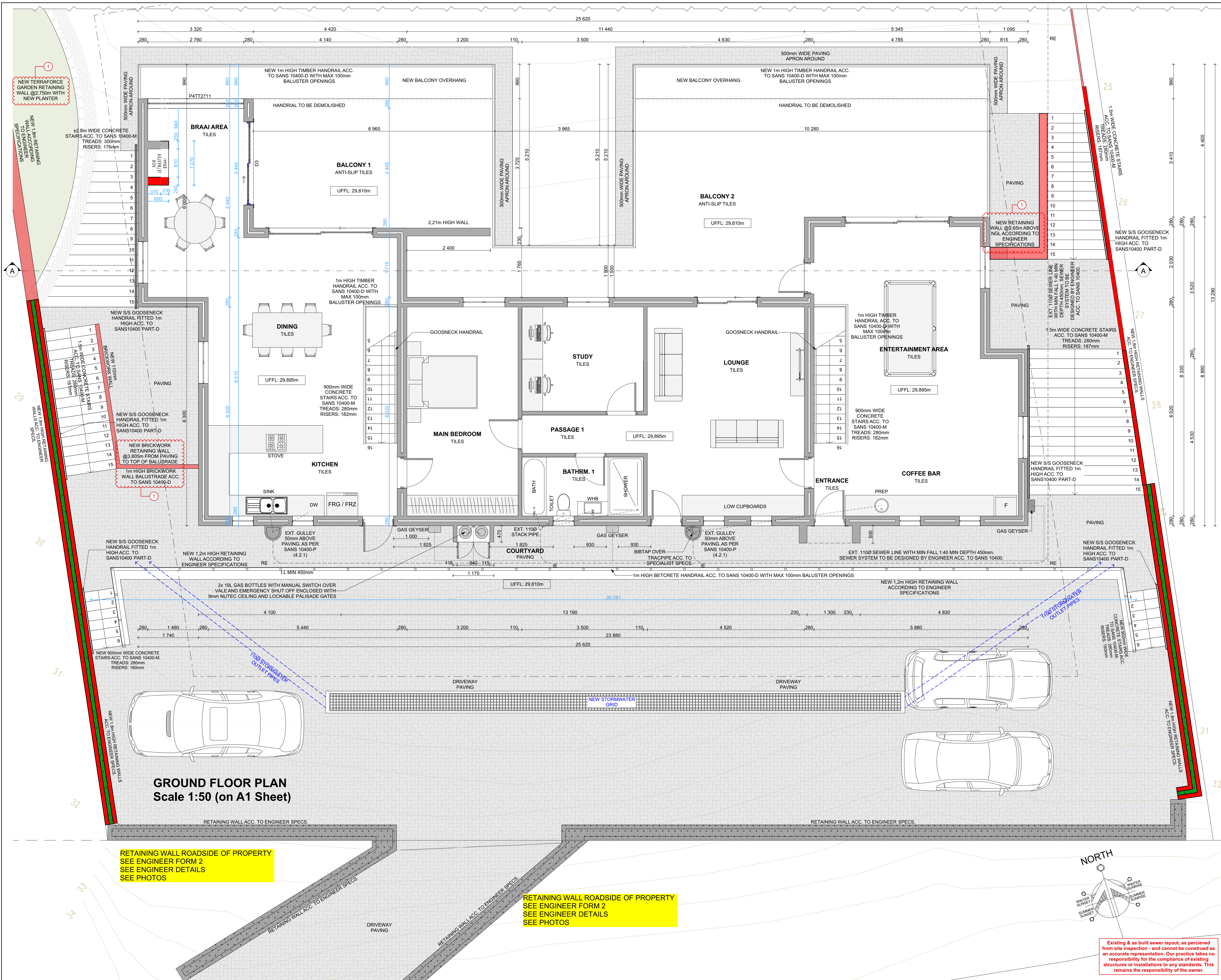
H4: DWELLING HOUSE
ZONING: SRZI
PROJECT

ADDITIONS FOR DPFS INVESTMENTS (PTY)Ltd ON ERF 788 WILDERNESS GEORGE

LOWER GROUND FLOOR PLAN, SITE PLAN

SCALE	PROJECT NUMBER	
1:50, 1:200	2301-01	
DRAWING NUMBER	REVISION	
M001	1	
DATE PRINT ISSUED:	DRAWN	CHECKED
2026/08/05	M VD MERWE	

APPROVED BY CLIENT
SIGNATURE: _____



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RISERS MAX 200mm
TREADS MIN 250mm
HANDRAIL @ 900mm HEIGHT
BALUSTRADES MAX 100mm CENTRES
HEAD HEIGHT VERTICAL FROM STAIR NOSE 2,1m MIN

ALL FLOORS IN ANY LAUNDRY, KITCHEN, SHOWER ROOM, BATHROOM OR ROOM CONTAINING A TOILET PAN OR URINAL ARE IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400-J

ROOF FIXINGS TO COMPLY WITH SANS 10400-B & THE DETAILED REQUIREMENTS OF SANS 10400-K

DPC REQUIRED UNDERNEATH ALL WINDOWS


SCAN TO SEE VIDEO
OR CLICK HERE

Carport / Open Patio (if any) to remain open as per building plan.

Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.2.1).

Drainage installation to comply with SANS 10400 Part P.

Drainage installations under building work must be installed in terms of Part P of SANS 10400 (4.19.4).

Drainage installations under building work must be protected in terms of Part P of SANS 10400 (4.22.2).

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REVISIONS			
No.	Date	Name	Description

M Smith Architectural Group (Pty)Ltd 2023/768767/07 SACAP REG. NO: ST0609


MSMITH ARCHITECTURAL GROUP
8B COMMERCIAL CLOSE,
EASTERN EXT. GEORGE
GARDEN ROUTE

H4: DWELLING HOUSE
ZONING: SRZI

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www.msmith.co.za

PROJECT
ADDITIONS FOR
DPFS INVESTMENTS (PTY)Ltd
ON ERF 788
WILDERNESS
GEORGE

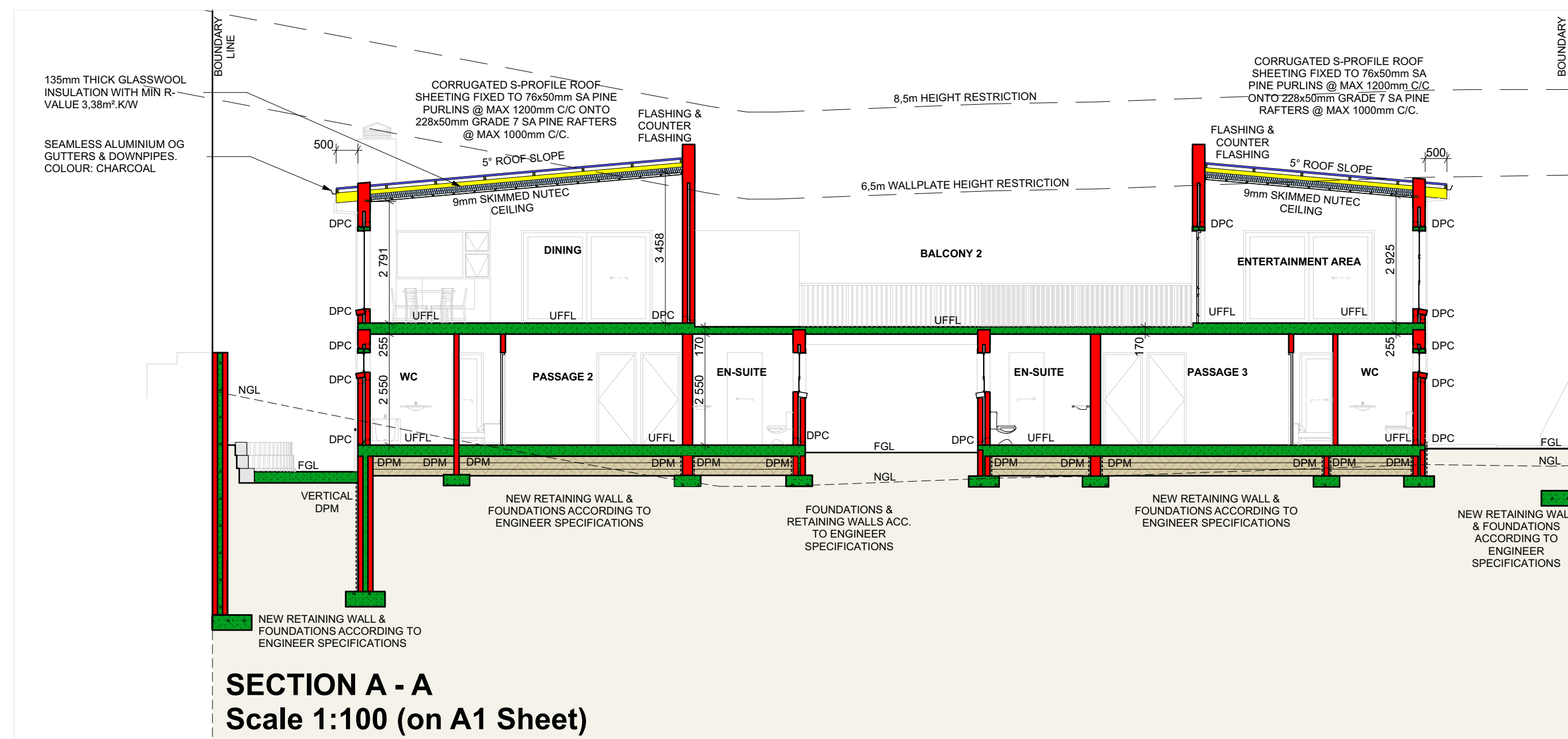
GROUND FLOOR PLAN			
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1:50	2301-01		
DRAWING NUMBER	REVISION		
M002	1		
DATE PRINTED:	DRAWN	CHECKED	
2026/08/05	M VD MERWE		

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SIGNATURE:

WINDOW & DOOR SCHEDULE

Scale 1:100

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ALL STAIRS ACCORDING TO SANS 10400 - M:

ALL STAIRS ACCORDING TO SANS 10400 - P1
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TREADS MIN 250mm
HANDRAIL @ 900mm HEIGHT
BALUSTRADES MAX 100mm CENTRES
HEAD HEIGHT VERTICAL FROM STAIR NOSE 2,1m MIN

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ROOF FIXINGS TO COMPLY WITH SANS 10400-B & THE DETAILED REQUIREMENTS OF SANS 10400-K

DPC REQUIRED UNDERNEATH ALL WINDOWS



SCAN TO SEE VIDEO
OR [CLICK HERE](#)

Carport / Open Patio (if any)to remain open as per building plan.

Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.21).

Drainage installation to comply with SANS 10400 Part P

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REVISIONS			
No.	Date	Name	Description
1			

M Smith Architectural Group (Pty)Ltd 2023/768767/0

SACAP REG. NO.: ST0609



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GARDEN ROUTE

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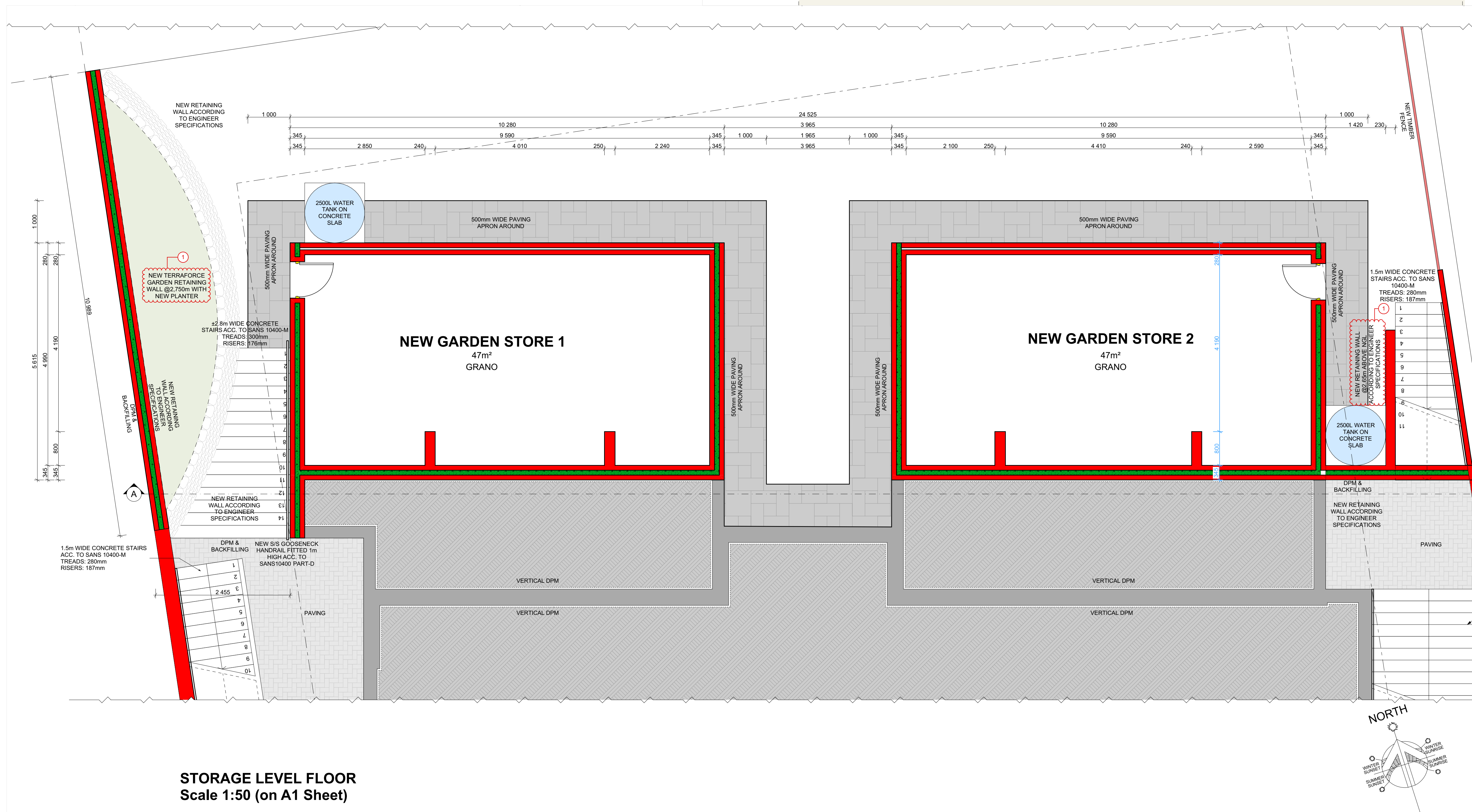
**ADDITIONS FOR
DPFS INVESTMENTS (PTY)Ltd
ON ERF 788
WILDERNESS
GEORGE**

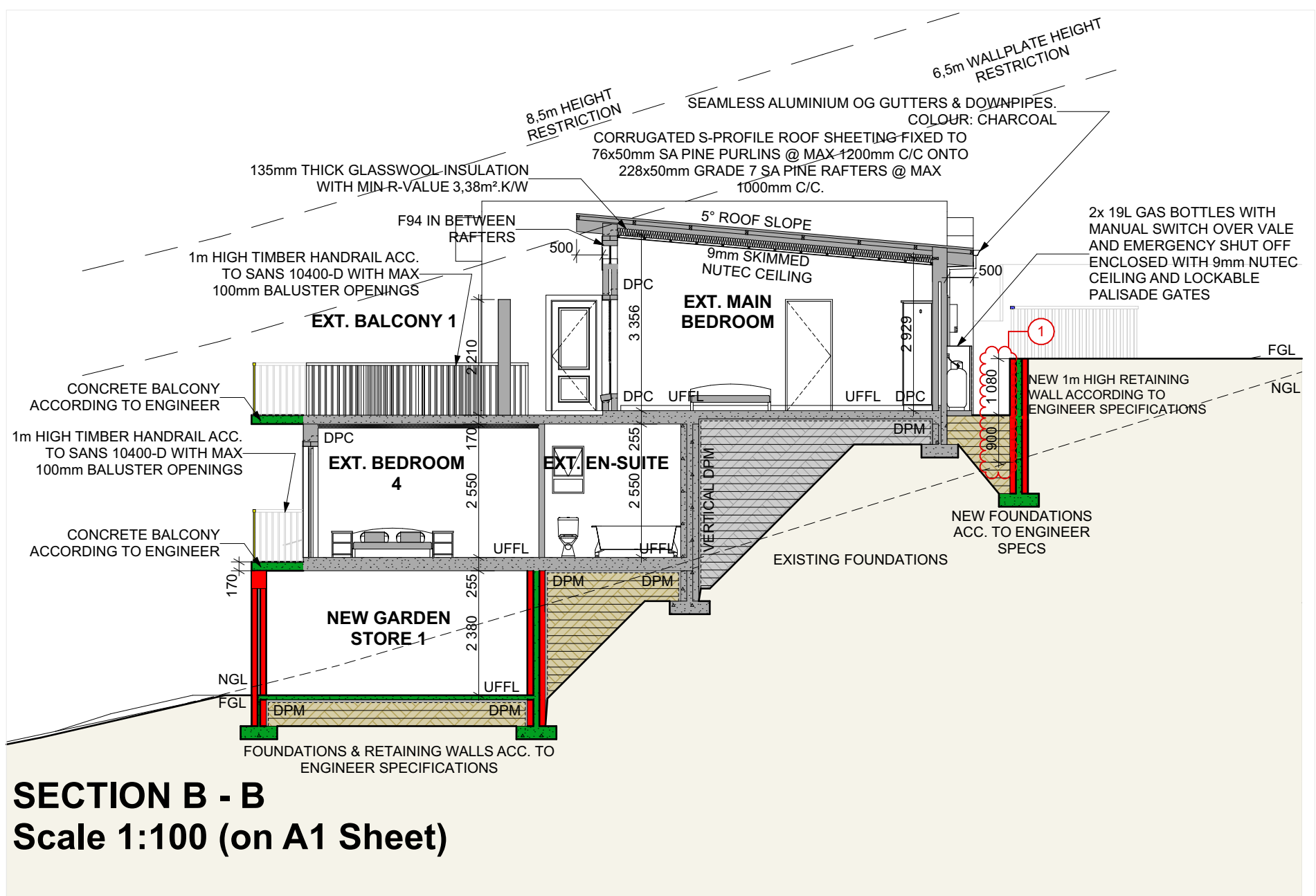
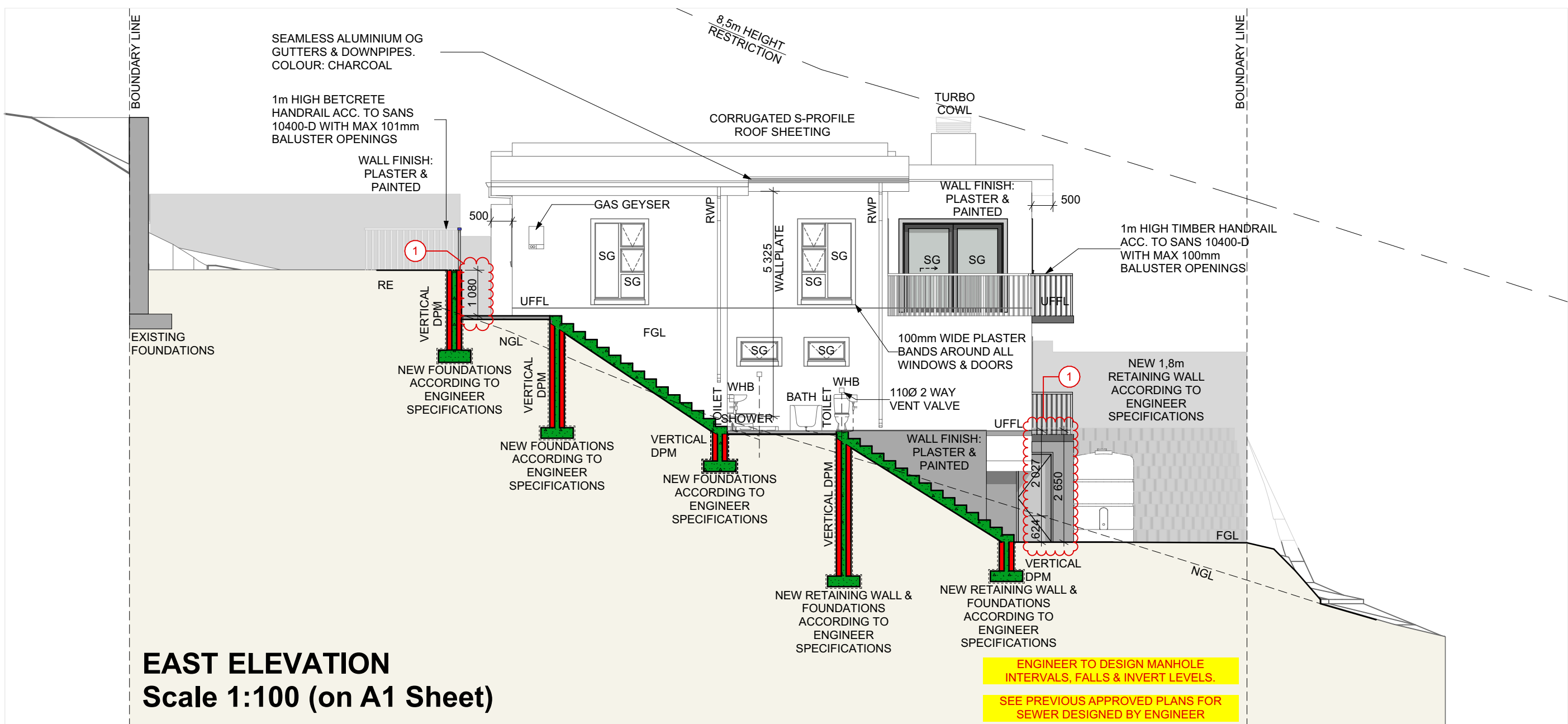
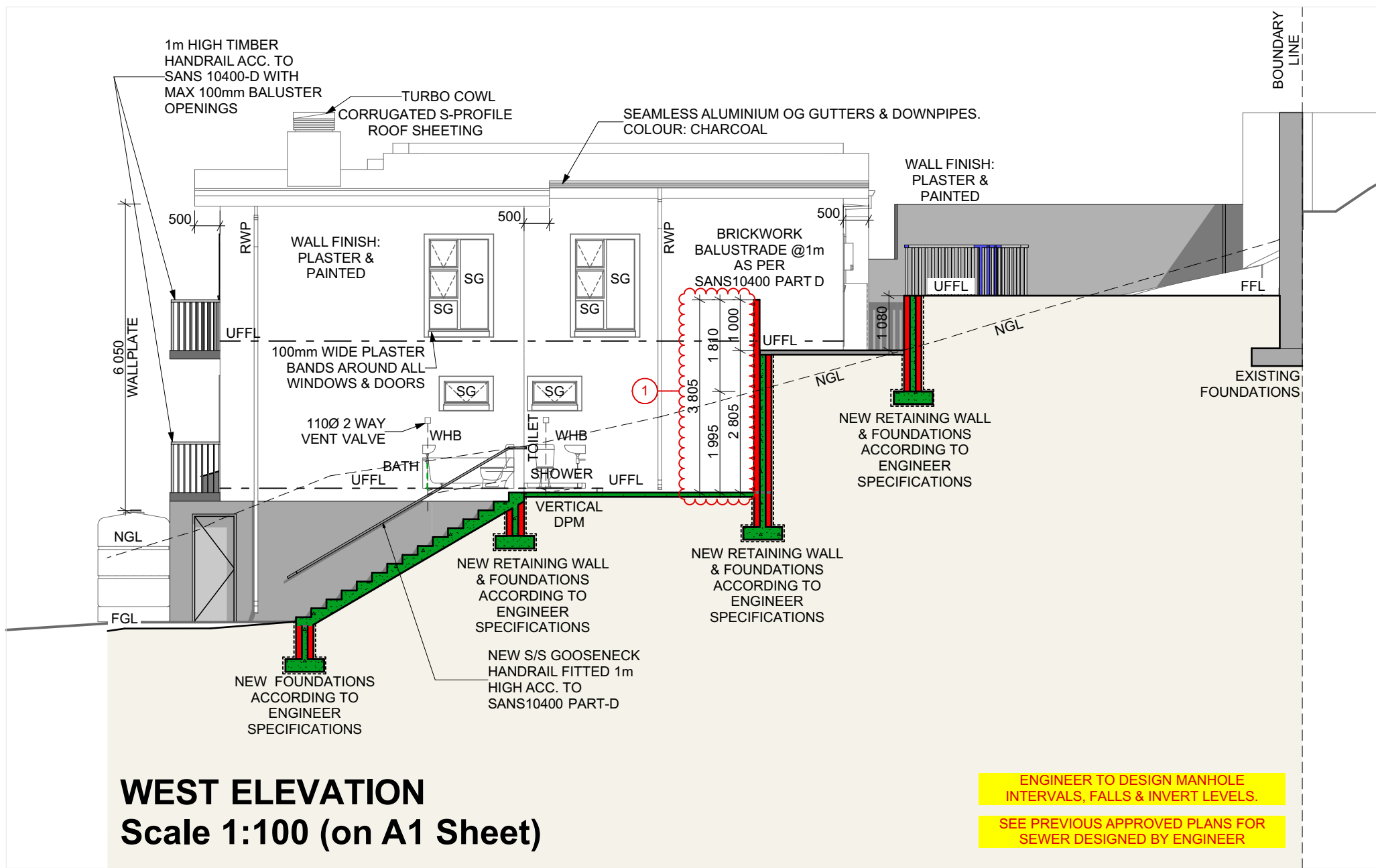
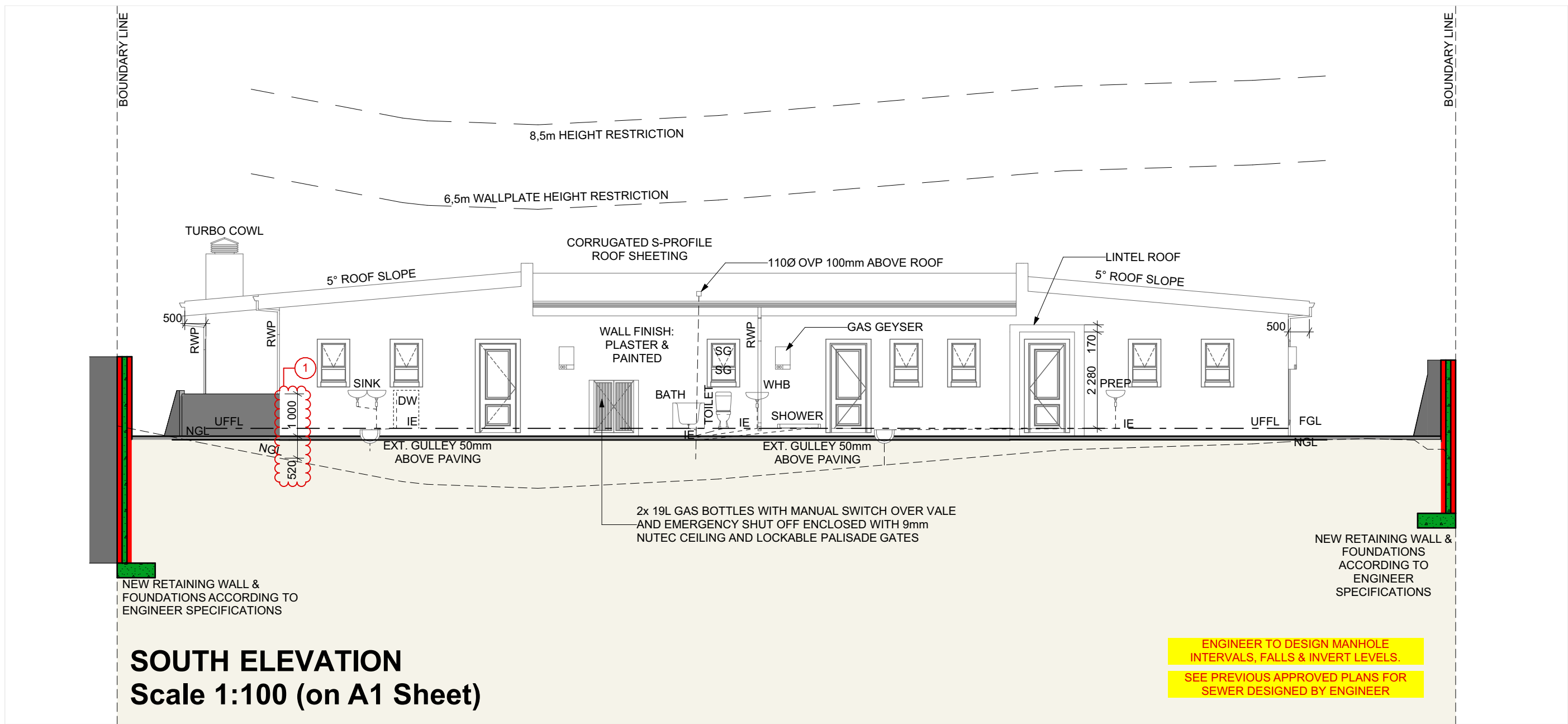
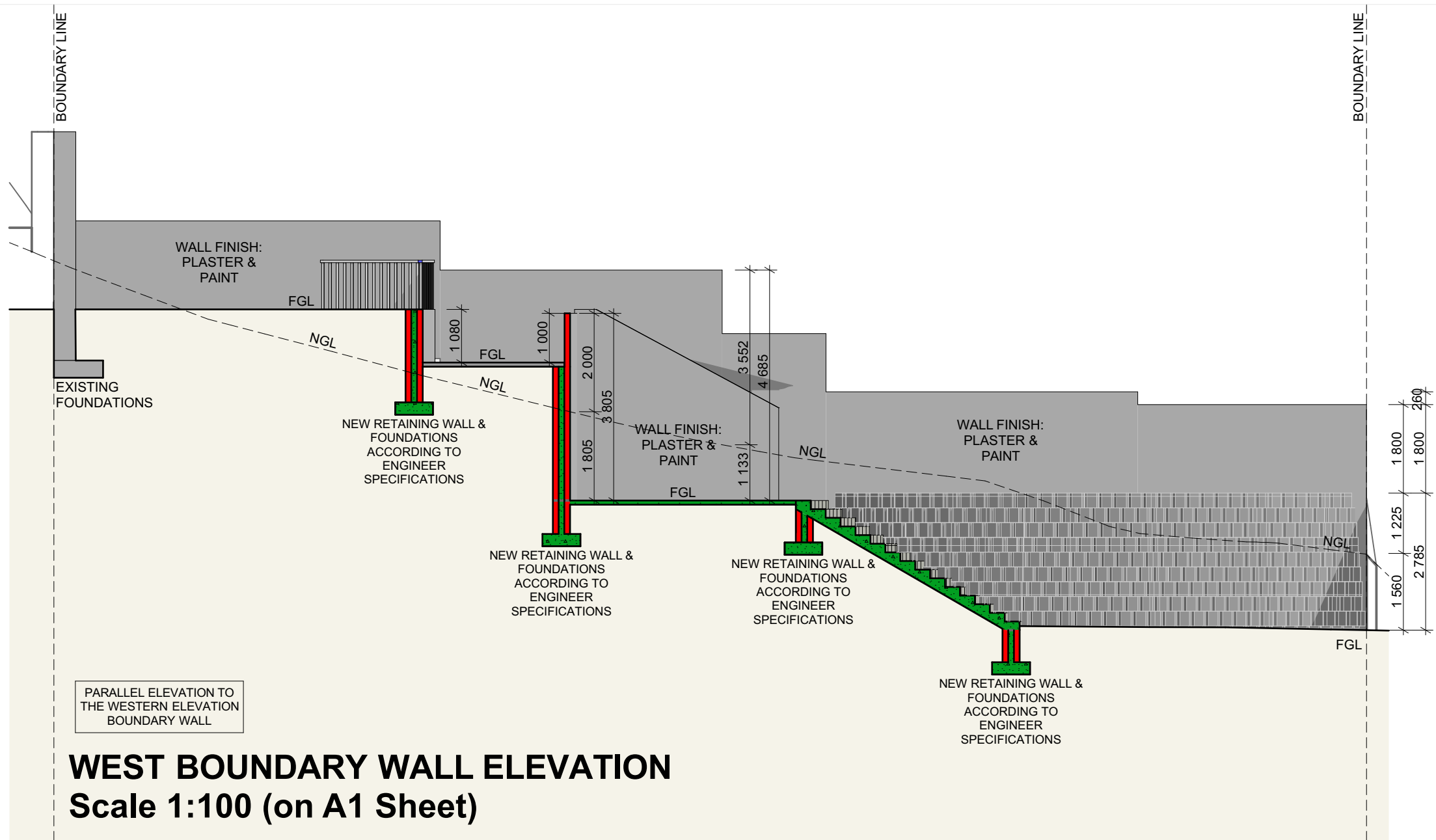
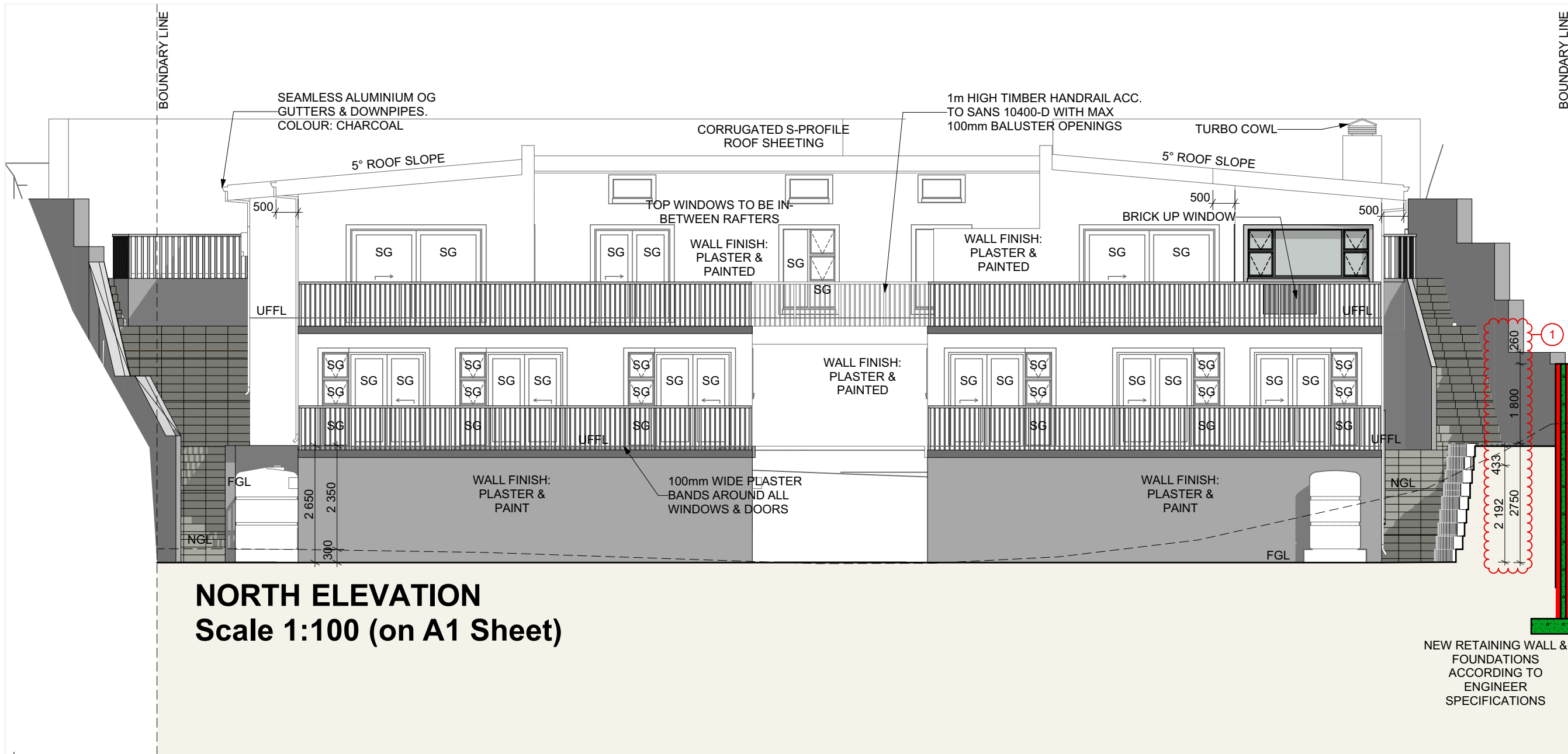
**STORAGE LEVEL FLOOR,
SECTIONS. WINDOW SCHEDULE**

SCALE	PROJECT NUMBER	
1:50, 1:100	2301-01	
DRAWING NUMBER	REVISION	
M003	1	
DATE PRINT ISSUED:	DRAWN	CHECKED
2026/08/05	M VD MERWE	

APPROVED
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ALL STAIRS ACCORDING TO SANS 10400 - M:
RISERS MAX 200mm
TREADS MIN 250mm
HANDRAIL @ 900mm HEIGHT
BALUSTRADES MAX 100mm CENTRES
HEAD HEIGHT VERTICAL FROM STAIR NOSE 2,1m MIN

ALL FLOORS IN ANY LAUNDRY, KITCHEN, SHOWER ROOM, BATHROOM OR ROOM CONTAINING A TOILET PAN OR URINAL ARE IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400-J

ROOF FIXINGS TO COMPLY WITH SANS 10400-B & THE DETAILED REQUIREMENTS OF SANS 10400-K

DPC REQUIRED UNDERNEATH ALL WINDOWS

Carport / Open Patio (if any) to remain open as per building plan.
Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.2.1).
Drainage installation to comply with SANS 10400 Part P.
Drainage installations under building work must be installed in terms of Part P of SANS 10400 (4.19.4).
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REVISIONS			
No.	Date	Name	Description

M Smith Architectural Group (Pty)Ltd 2023/768767/07 SACAP REG. NO.: ST0609

MSMITH ARCHITECTURAL GROUP
8B COMMERCIAL CLOSE,
EASTERN EXT. GEORGE
GARDEN ROUTE

H4: DWELLING HOUSE
ZONING: SRZI

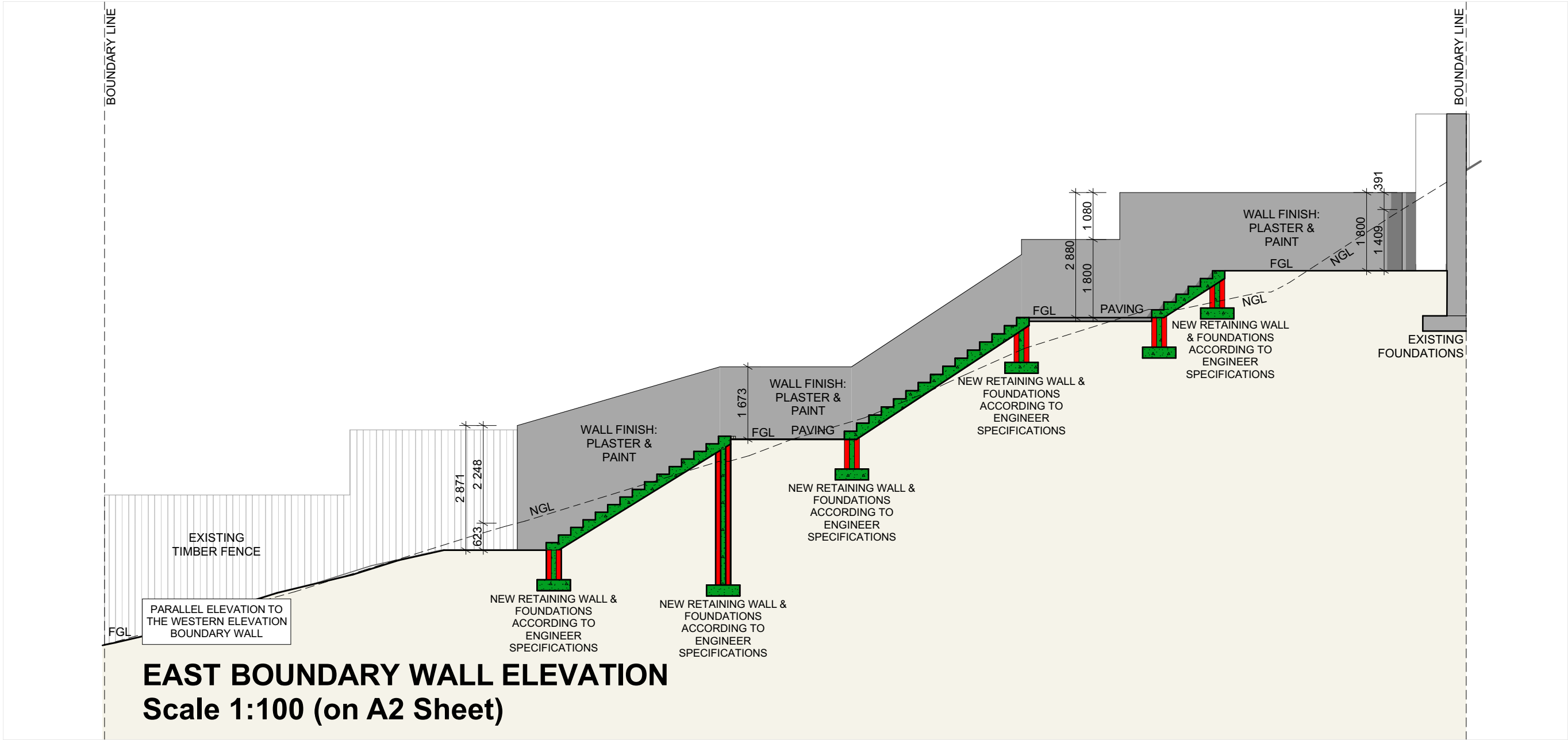
Cell: 082 640 2544
info@msmith.co.za
www.msmith.co.za

PROJECT
ADDITIONS FOR DPFS INVESTMENTS (PTY)Ltd ON ERF 788 WILDERNESS GEORGE

ELEVATIONS, SECTIONS		
SCALE	PROJECT NUMBER	
1:100	2301-01	
DRAWING NUMBER	REVISION	
M004	1	
DATE PRINT ISSUED:	DRAWN	CHECKED
2026/08/05	M VD MERWE	

APPROVED BY CLIENT
SIGNATURE:

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PROJECT

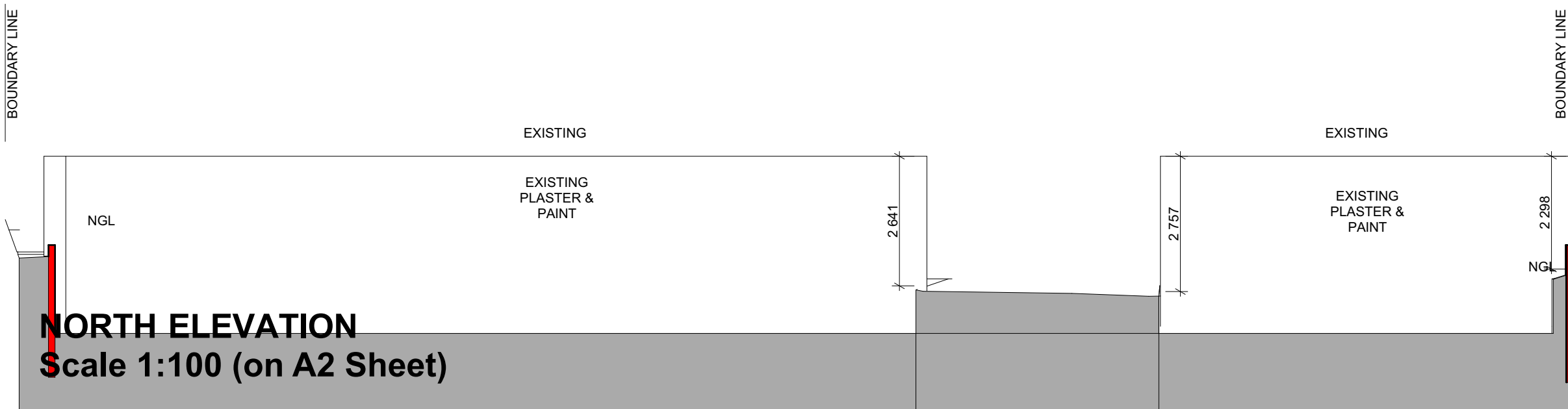
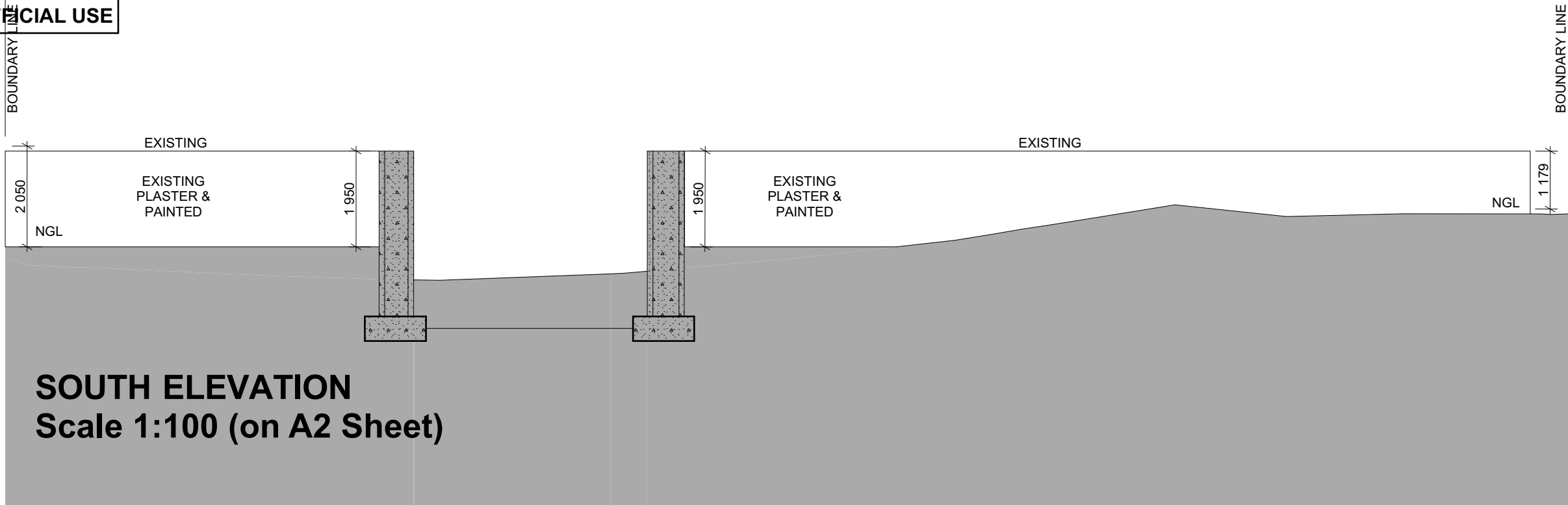
ADDITIONS FOR
DPFS INVESTMENTS (PTY)Ltd
ON 788
WILDERNESS
GEORGE

SCALE 1:100	PROJECT NUMBER 2301-01
DRAWING NUMBER M005	REVISION 0
DATE PRINT ISSUED: 2026/08/05	DRAWN M VD MERWE
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REVISIONS

No.	Date	Name	Description

M Smith Architectural Group (Pty)Ltd 2023/768767/07

SACAP REG. NO.: ST0609



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EASTERN EXT, GEORGE
GARDEN ROUTE

H4: DWELLING HOUSE
ZONING: SRZI

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www.msmith.co.za



PROJECT

**ADDITIONS FOR
DPFS INVESTMENTS (PTY)Ltd
ON 788
WILDERNESS
GEORGE**

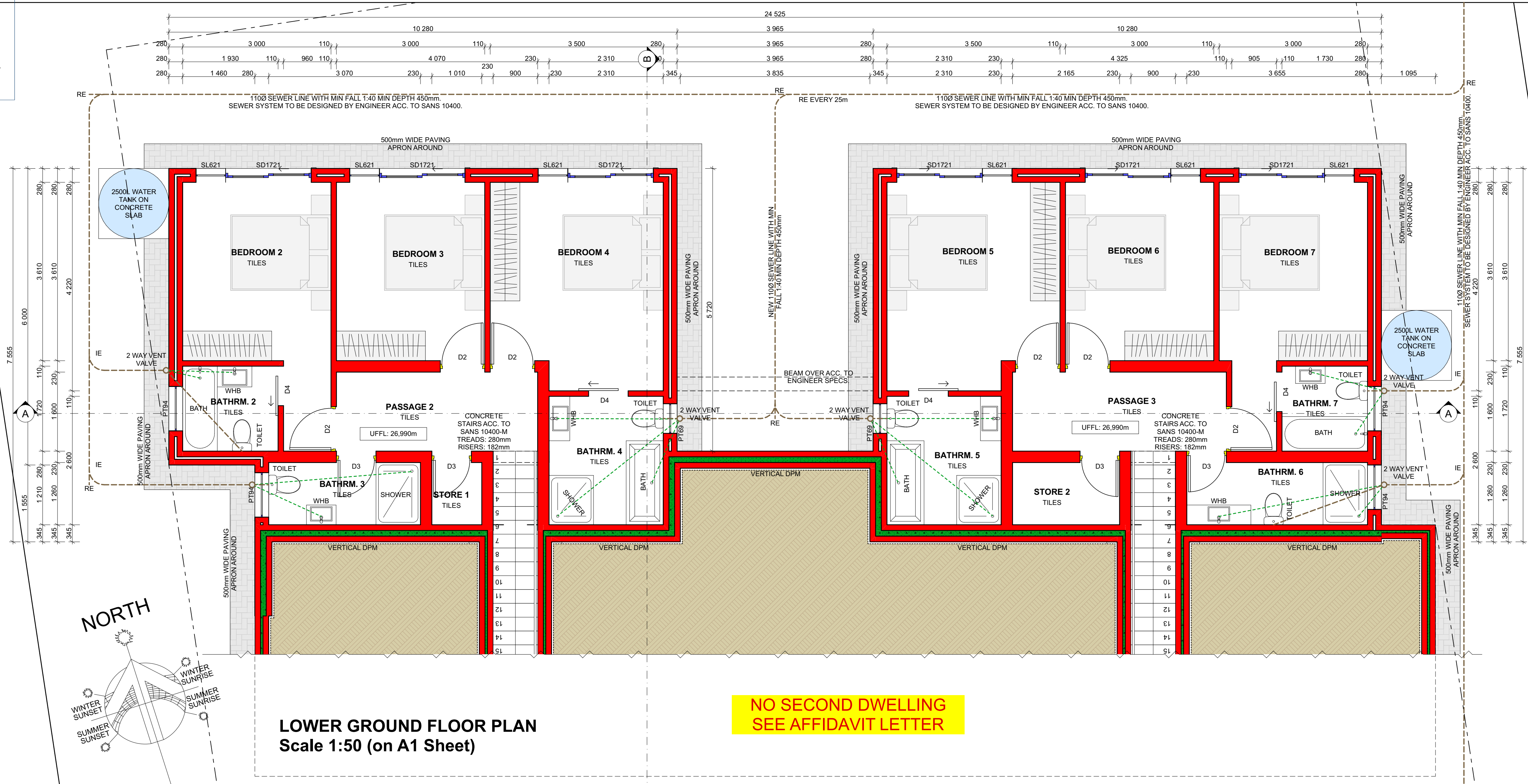
RETAINING WALL ELEVATIONS

SCALE 1:100	PROJECT NUMBER 2301-01
DRAWING NUMBER M006	REVISION 0
DATE PRINT ISSUED: 2026/08/05	DRAWN M VD MERWE
	CHECKED

APPROVED
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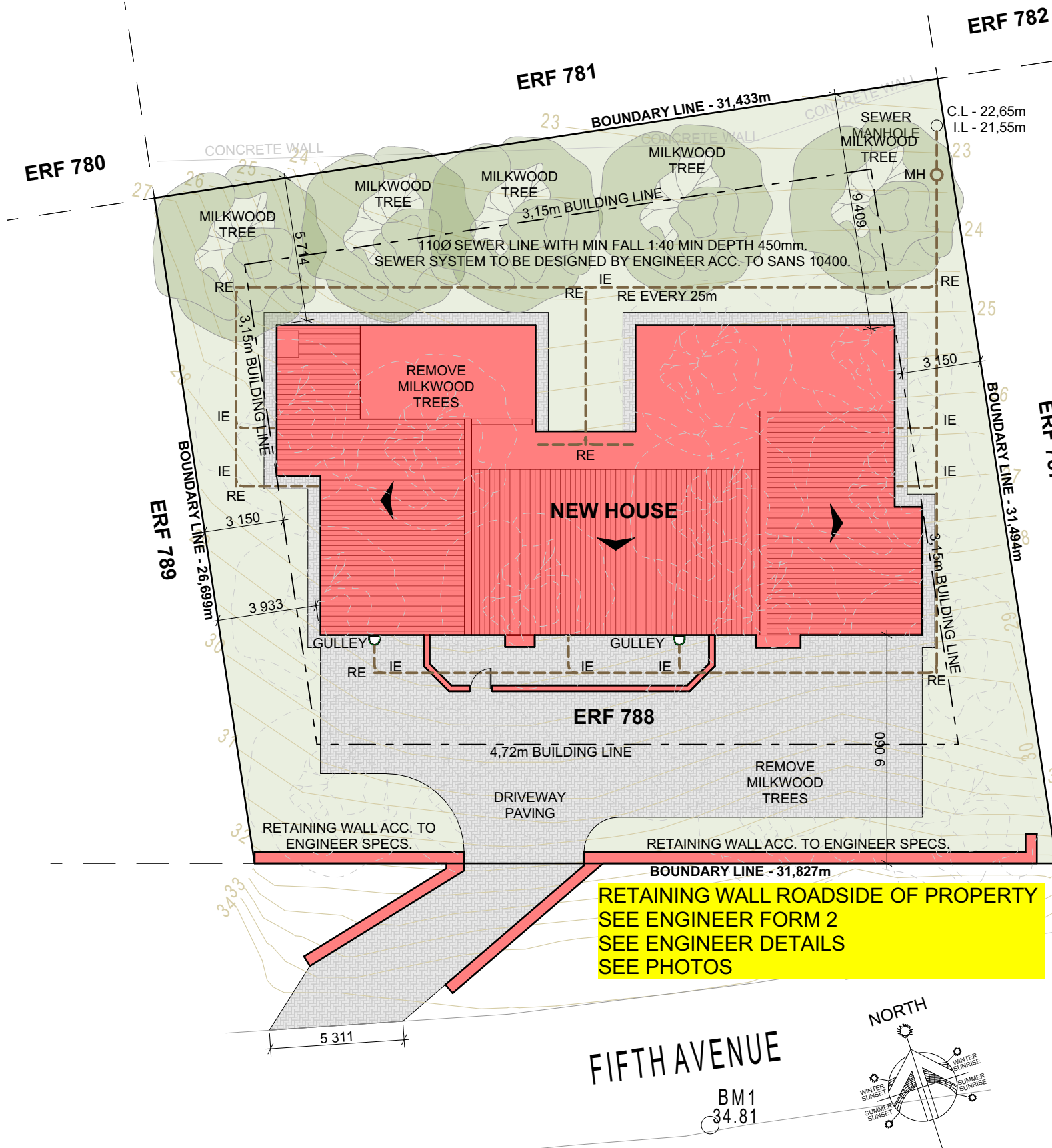
SIGNATURE:

ANNEXURE 8



LOWER GROUND FLOOR PLAN
Scale 1:50 (on A1 Sheet)

NO SECOND DWELLING
SEE AFFIDAVIT LETTER



SITE PLAN
Scale 1:200 (on A1 Sheet)

AREA SCHEDULE:

149,56m² - LOWER GROUND FLOOR
196,14m² - GROUND FLOOR
345,70m² - TOTAL AREA

915,12m² - ERF AREA

30,5% COVERAGE (279,45m²)

ENGINEER TO DESIGN
MANHOLE INTERVALS, FALLS &
INVERT LEVELS.
(SEE PAGES 5,6,7)
(ALSO FORM 2 ENGINEER)

• Stormwater (CES): The owner must take note that according to the National Building Regulations Part R and SANS 10400 Part F4(2), and the applicable clauses in the George Municipality's By-Law, the owner may not change/amend or cause surface runoff on the erf to collect/pond/discharge, and which may potentially cause damage to or unduly inconvenience a neighbouring property.

Specific reference is made to the George Municipality By-Law Relating to Stormwater, clauses 26.2 and 32 to 35 relating to stormwater between two adjoining properties. (12/09/2023)

OWNER + BUILDING CONTRACTORS AND SUB-CONTRACTORS TO COMPLY WITH THE FOLLOWING REQUIREMENTS OF SANS 10400 / SANS 204 / SANS XA:

B. Structural: The Structural system of the building: Part H + Part J + Part K + Part L + Part M + Part N - as well as a competent person (structures) to design and inspect the structures.

D. Public Safety: A change in level, the construction of ramps and driveways; or access to swimming pools is in accordance with the detailed requirements of SANS 10400-D.

F. Site Operations: The provision of sanitary facilities is in accordance with the detailed requirements of SANS 10400-F.

G. Excavations: The excavations must be less than 3 meters deep and is in accordance with the detailed requirements of SANS 10400-G.

H. Foundations: New structures will necessitate geotechnical investigations with the applicable rules. The foundations for the building are in accordance with SANS 10400-B and detailed requirements of SANS 10400-H.

The foundations to the extension / addition to an existing building are the same as the existing foundations, which have performed satisfactory. Should any soil improvements be required - a competent person (civil engineering / geotechnical) are to be appointed.

J. Floors: Floors in any Laundry, kitchen, shower room, bathroom or room containing a toilet pan or urinal are in accordance with the detailed requirements of SANS 10400-J (waterproofing or applicable areas). Suspended floors are in accordance with the detailed requirements of SANS 10400-B and SANS 10400-T and or requirements of SANS 10082 and or requirements of SANS 10400-J. Slabs supported on the ground are in accordance with the detailed requirements of SANS 10400-B and or SANS 10400-H and or SANS 10400-J.

K. Walls: The structural strength and stability of a wall is in accordance with the detailed requirements of SANS 10400-B and SANS 10400-T and or detailed requirements of SANS 10400-K. The roof fixing to the wall is in accordance with the detailed requirements of SANS 10400-B and or detailed requirements of SANS 10400-K.

The water penetration through a wall is in accordance with the detailed requirements of SANS 10400-K.

L. Roofs: Roof coverings and waterproofing systems are in accordance with the detailed requirements of SANS 10400-L. Flat roofs or related gutters are in accordance with the detailed requirements of SANS 10400-L and or subject of a rational design or rational assessment. The roof assembly and any ceiling assembly - in addition to complying with the requirements of SANS 10400-C are in accordance with the detailed requirements of SANS 10400-L and the roof assembly is supported on walls that comply with the requirements of SANS 10400-K and or in accordance with SANS 10400-B and SANS 10400-L. Gutters and downpipes are sized in accordance with the requirements of SANS 10400-R. The fire resistance and combustibility of the roof assembly or ceiling are in accordance with the detailed requirements of SANS 10400-L and or SANS 10400-T.

M. Stairways: Stairways are in accordance with SANS 10400-B and SANS 10400-T and or: the detailed requirements of SANS 10400-M. Walls, screens, railings or balustrades to such stairway are accordance with requirements of SANS 10400-B and SANS 10400-T / SANS 10400-K and SANS 10400-T.

N. Glazing: The type of fixing of glazing is in accordance with SANS 10400-B / the detailed requirements of SANS 10400-N.

O. Lighting and Ventilation: The lighting and ventilation in a habitable room, bathroom, shower room and room containing a toilet pan complies with the requirements of SANS 10400-T and the detailed requirements of SANS 10400-O.

P. Sewer Drainage: The construction of the drainage system is in accordance with the detailed requirements of SANS 10400-P.

Q. Non-water borne means of sanitary disposal: The means of sewerage disposal where water-borne sewerage disposal is not available is in accordance with the detailed requirements of SANS 10400-Q.

R. Storm water disposal: The means for the control and disposal of storm water is in accordance with the detailed requirements of SANS 10400-R.

S. Persons with Disabilities: The means of providing facilities for persons with disabilities is in accordance with the detailed requirements of SANS 10400-S.

T. Fire protection: The fire protection measures provided are in accordance with the detailed requirements of SANS 10400-T.

V. Space heating: The provision for space heating is in accordance with the detailed requirements of SANS 10400-V.

W. Fire installation: The fire installations and supply of water comply with the detailed requirements of SANS 10400-W.

Contractor to take responsibility that all details and reports of SANS 10400-XA & SANS 204 and it will be adhered to.

Main Contractor to comply with above requirements of SANS 10400 / SANS 204 / SANS 10400-XA (See attached report of SANS 10400-XA and SANS 204)

13/10/2023

OWNER SIGNATURE: DATE:

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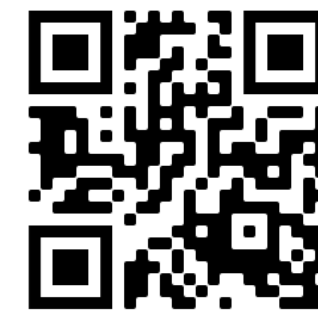
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MARIUS SMITH Pr.Snr.Arch.T - ST0609

ALL STAIRS ACCORDING TO SANS 10400 - M:
RISERS MAX 200mm
TREADS MIN 250mm
HANDRAIL @ 900mm HEIGHT
BALUSTRADES MAX 100mm CENTRES
HEAD HEIGHT VERTICAL FROM STAIR NOSE 2,1m MIN

all floors, in any LAUNDRY, KITCHEN, SHOWER ROOM, BATHROOM OR ROOM CONTAINING A TOILET PAN OR URINAL ARE IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400-J

roof fixings, TO COMPLY WITH SANS 10400-B & THE DETAILED REQUIREMENTS OF SANS 10400-K

dpc required underneath all windows



SCAN TO SEE VIDEO
OR CLICK HERE

Carport / Open Patio (if any) to remain open as per building plan.

Sanitary fittings discharging to a gully to discharge over that gully as per Part P of SANS 10400 (4.2.1).

Drainage installation to comply with SANS 10400 Part P.

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REVISIONS

No.	Date	Name	Description

SACAP REG. NO.: ST0609

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ARCHITECTURAL GROUP
PASSION TO CREATE

UNIT 2 FAIRVIEW OFFICE PARK
1st STREET EASTERN EXT
GEORGE
GARDEN ROUTE

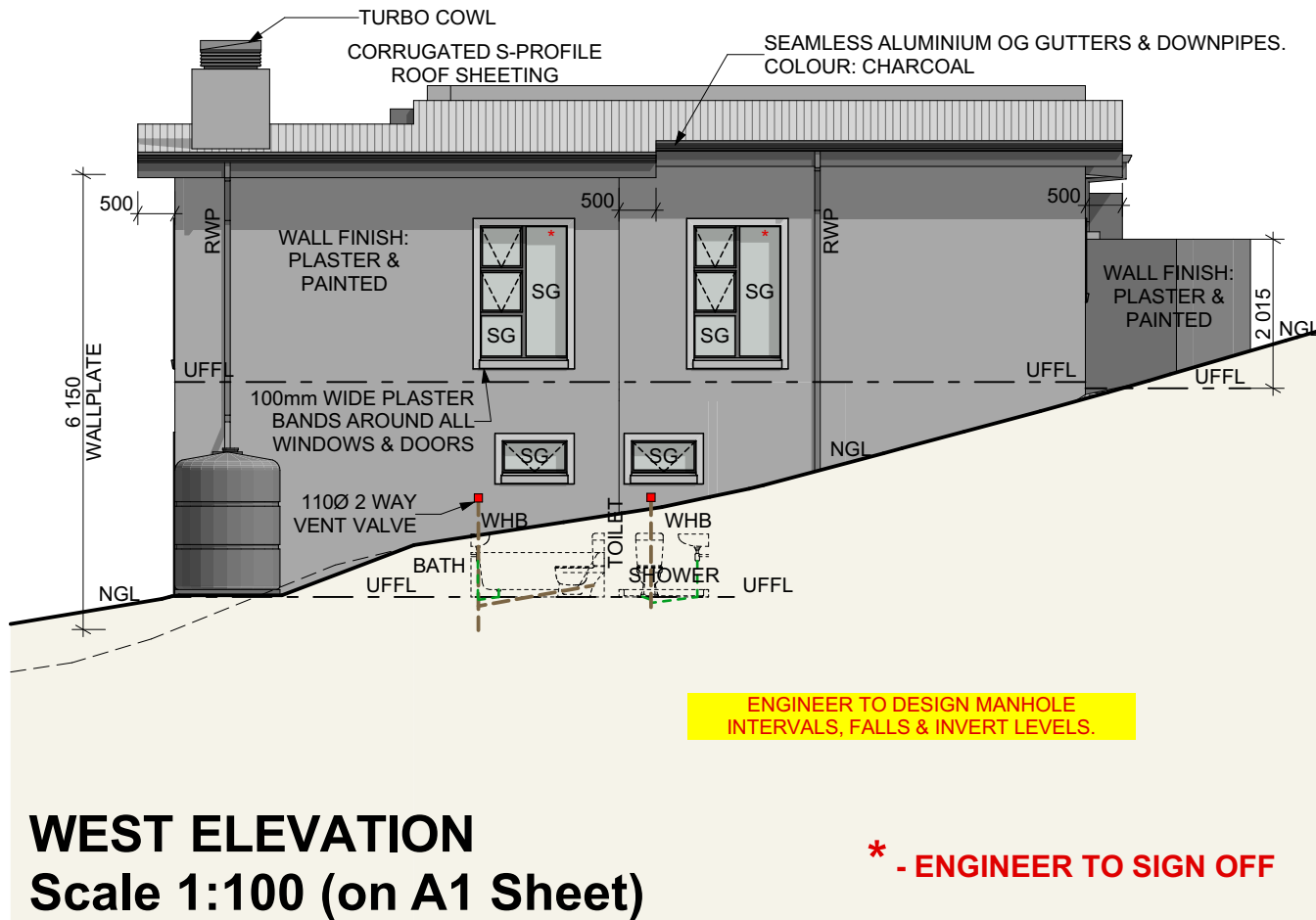
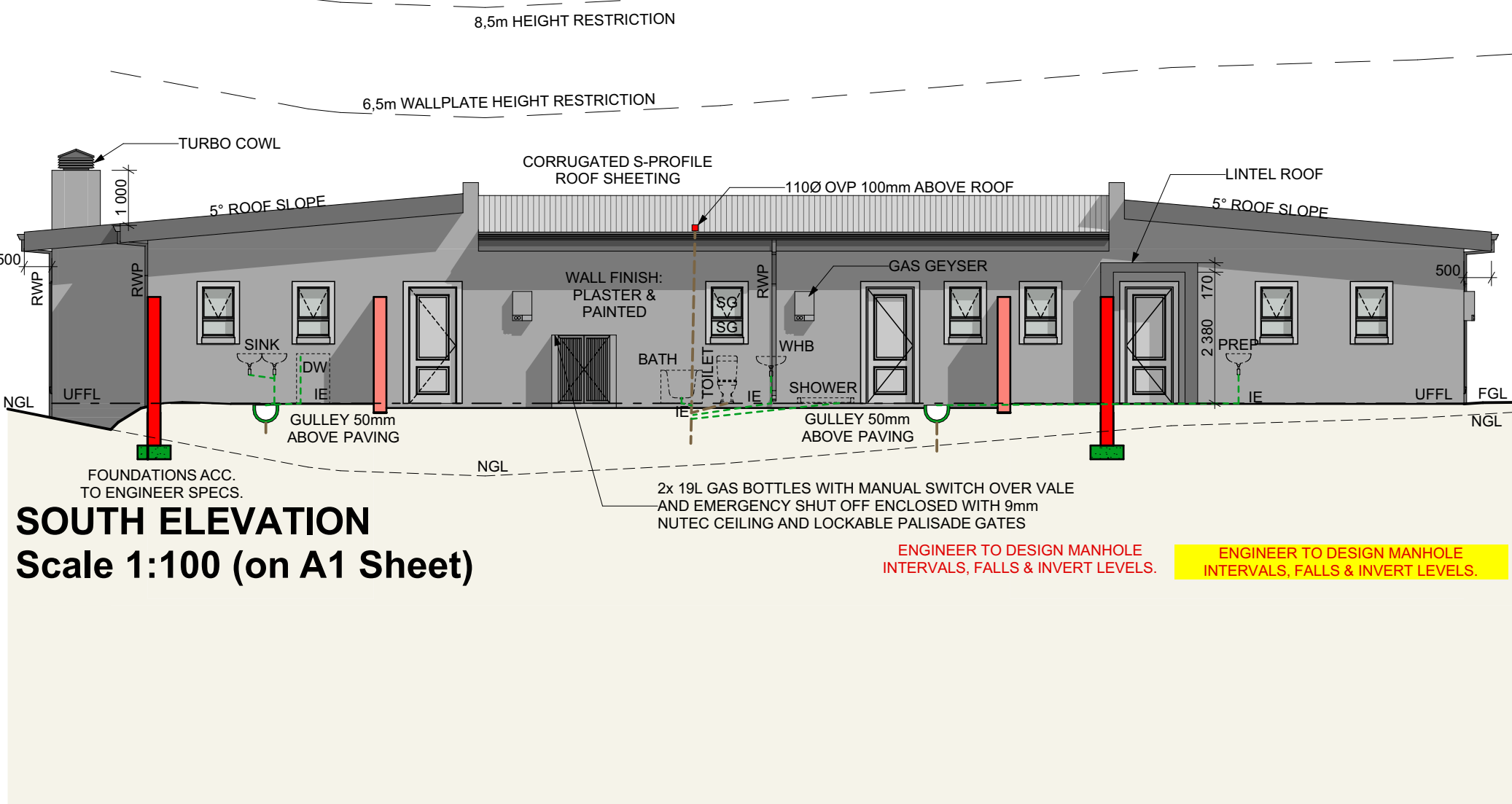
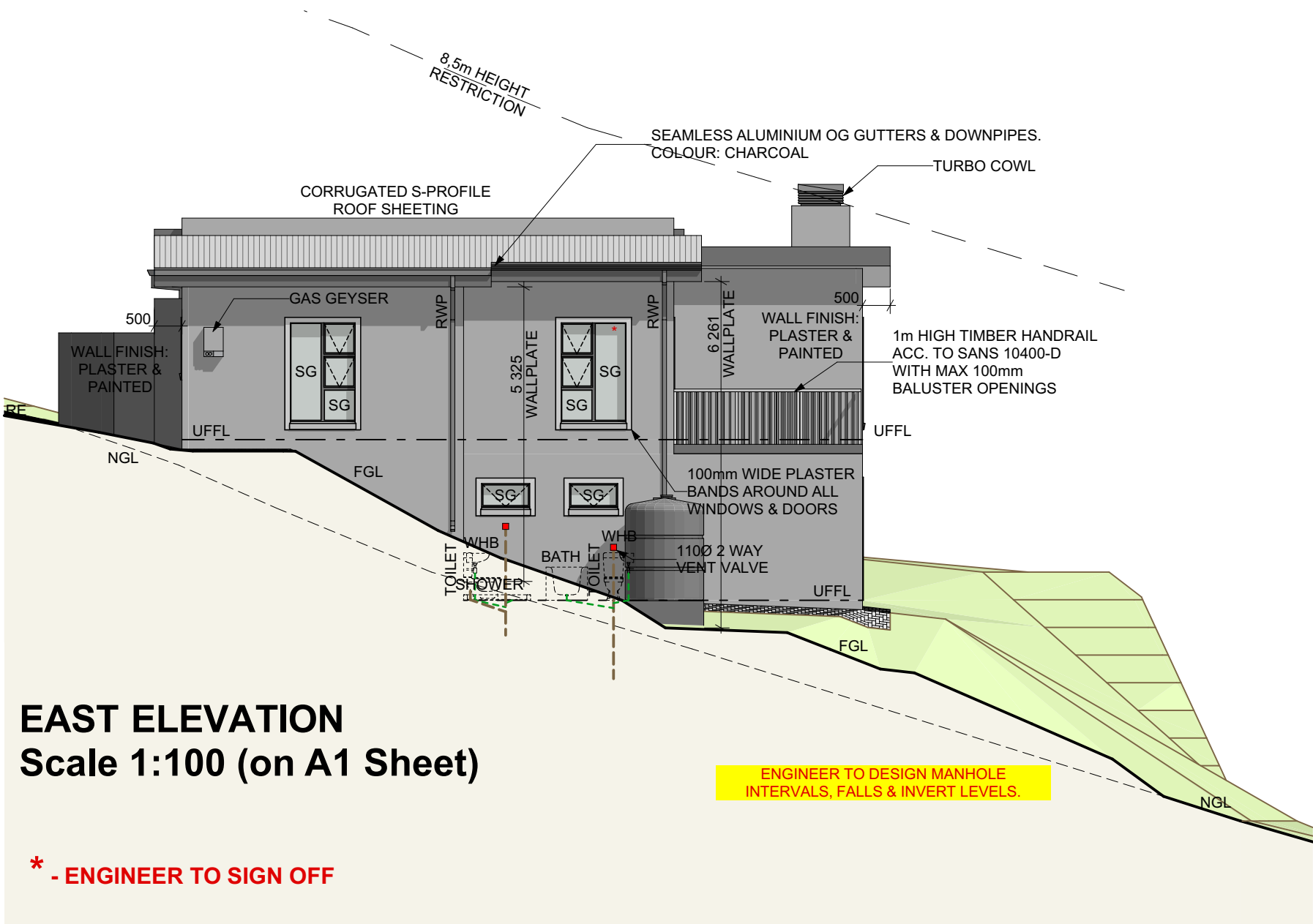
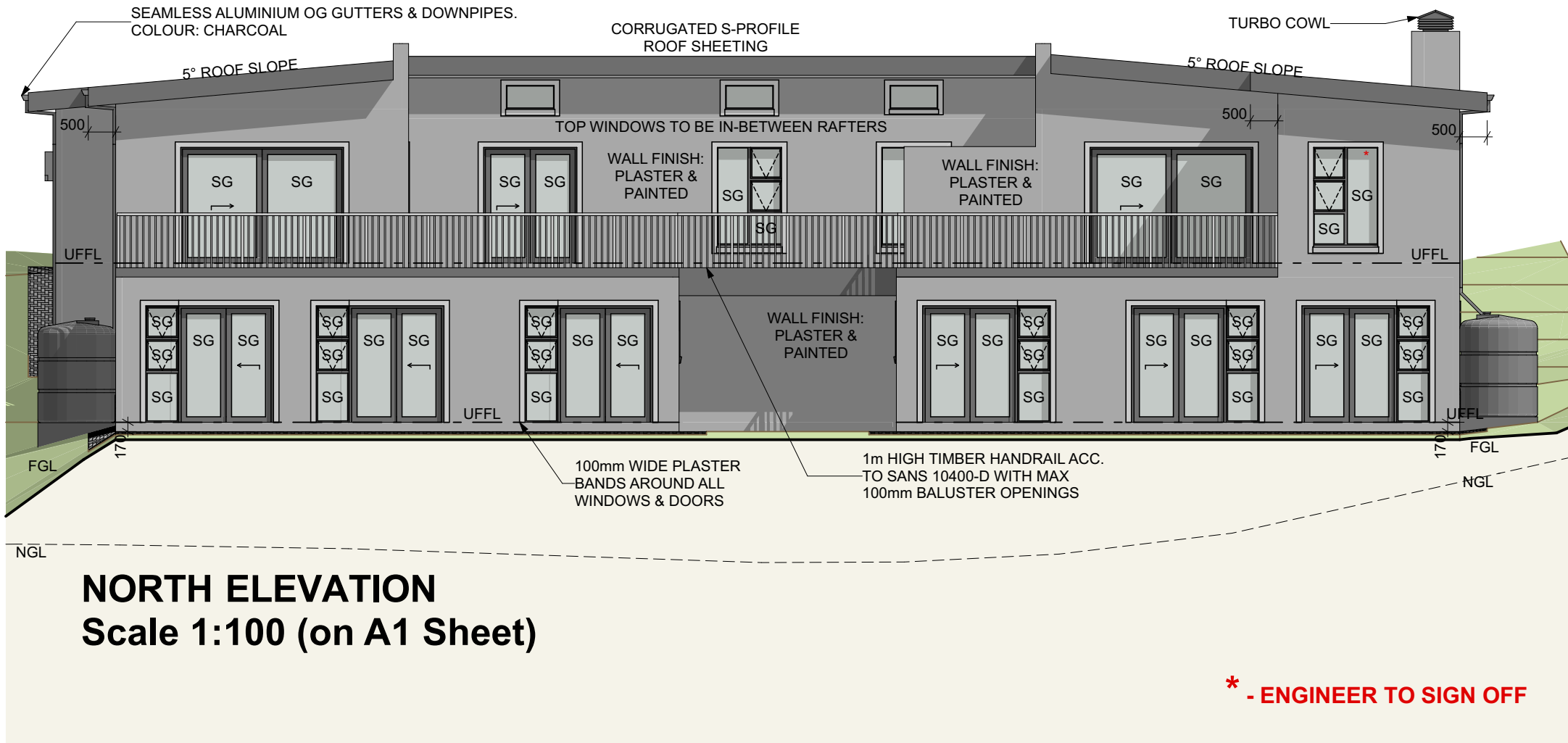
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PROJECT
**NEW HOUSE FOR
DPFS INVESTMENTS (PTY)Ltd
ON ERF 788
WILDERNESS
GEORGE**

**LOWER GROUND FLOOR PLAN,
SITE PLAN**

SCALE		PROJECT NUMBER	
1:50, 1:200		23.01-01	
DRAWING NUMBER		REVISION	
M001		4	
DATE PRINT ISSUED:		DRAWN	CHECKED
2023/08/02		H DU PREEZ	MS

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D1	D2	D3	D4
4	11	6	2
F94 3	G1 1	PT69 9	PT94 4
PTT1218 7	SD1721 7	SD3021 2	SL621 6

WINDOW & DOOR SCHEDULE

Scale 1:100

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HANDRAIL @ 900mm HEIGHT
BALUSTRADES MAX 100mm CENTRES
HEAD HEIGHT VERTICAL FROM STAIR NOSE 2,1m MIN

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roof: fixings, to comply with SANS 10400-B & the detailed requirements of SANS 10400-K

epc: required, underneath, all, windows

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SACAP REG. NO.: ST0609

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1st STREET EASTERN EXT.
GEORGE
GARDEN ROUTE

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www.msmith.co.za

PROJECT

NEW HOUSE FOR
DPFS INVESTMENTS (PTY)Ltd
ON ERF 788
WILDERNESS
GEORGE

ELEVATIONS, SECTIONS, WINDOW
SCHEDULE

SCALE	PROJECT NUMBER	
1:100	23.01-01	
DRAWING NUMBER	REVISION	
M003	4	
DATE PRINT ISSUED:	DRAWN	CHECKED
2023/08/02	H DU PREEZ	MS

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SANS 10400 XA: CALCULATION REFERENCE TABLE

General Slab Insulation Detail

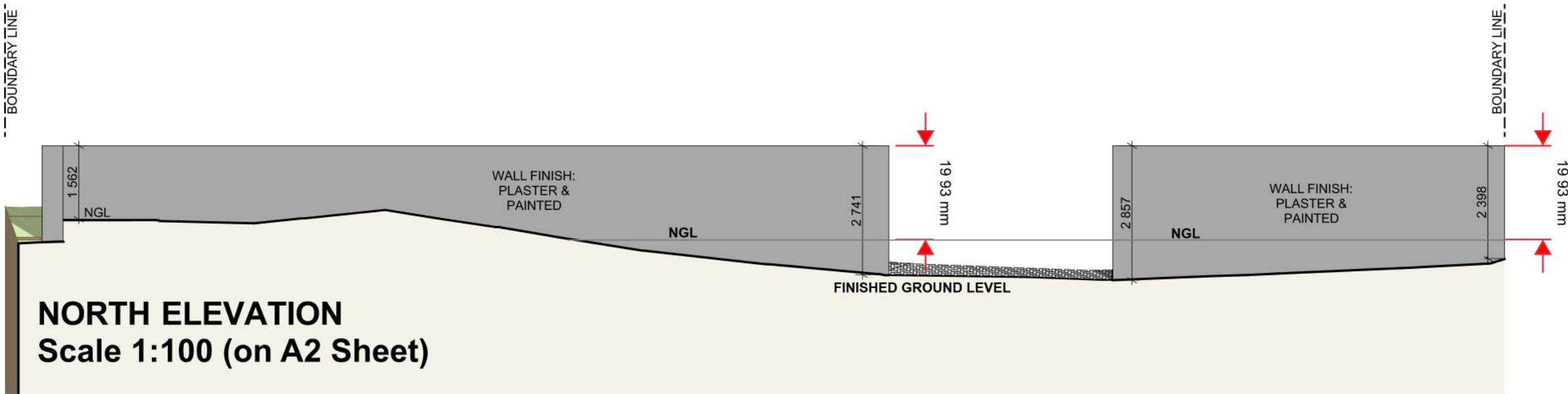
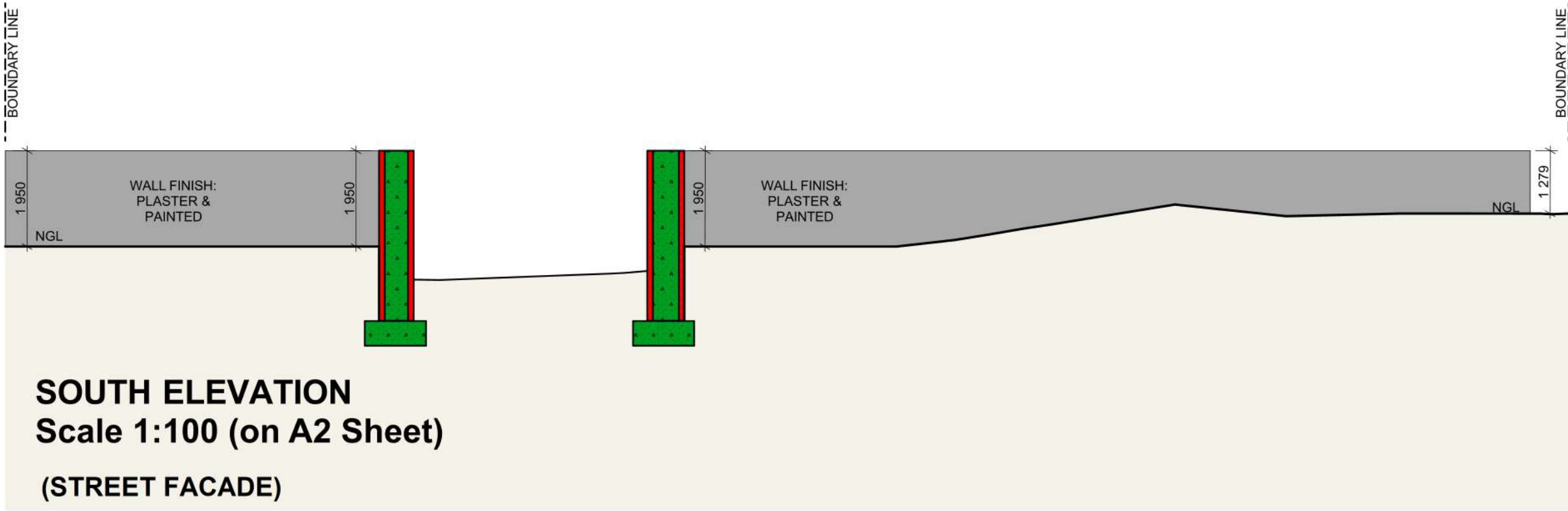
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APPROVED/GOEDGEKEUR

PLAN No: 356/23

DATUM/DATE: 2024-01-29

BOUBEHEER BEAMPTE/BUILDING CONTROL OFFICIAL



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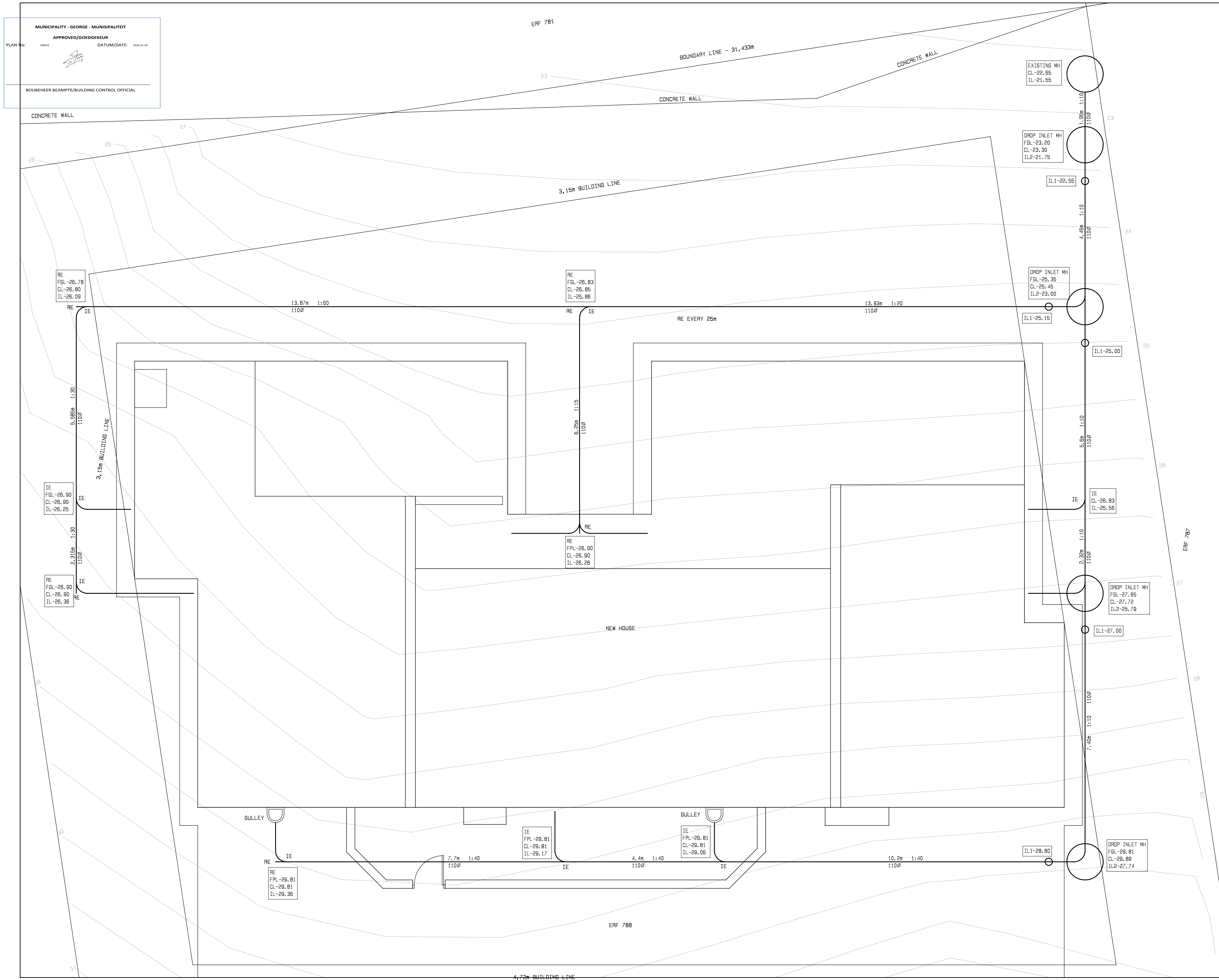
PROJECT

**NEW HOUSE FOR
DPFS INVESTMENTS (PTY)Ltd
ON ERF 788
WILDERNESS
GEORGE**

RETAINING WALL ELEVATIONS		
SCALE		PROJECT NUMBER
1:100		23.01-01
DRAWING NUMBER		REVISION
M005		0
DATE PRINT ISSUED:	DRAWN	CHECKED
2023/11/07	H DU PREEZ	MS

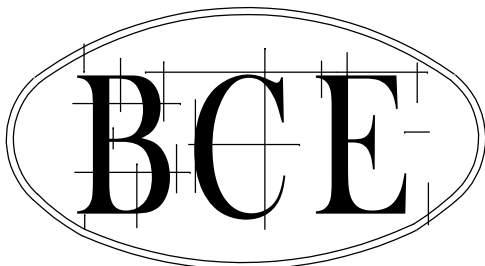
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SIGNATURE:



1. FOR DETAILS OF MANHOLES AND RODDING EYES SEE
DRAWING NO 2023/788/03
2. ALL SEWERAGE PIPES TO BE UPVC SOLID WALL CLASS 34

NR. NO.	DATUM DATE	WYSIGINGS AMENDMENTS



113 Voortrekker Str
Lydenburg
Mpumalanga 1120

Fax: 086 651 3369
Tel: 013 235 2288
Cell: 082 440 6611

Mossel Bay Office

DPFS INVESTMENTS

NEW HOUSE ON ERF 788
WILDERNESS, GEORGE

SEWERAGE LAYOUT

TEKENING NR./DRAWING NO.	01
2023/788/01	

SKAAL SCALE	1:50	NAGESAAN CHECKED	IL
LEER NR. FILE NO.		KLIJNT CLIENT	
DATUM DATE	JULY 2023	GETEKEN DRAWN	IL

MUNICIPALITY - GEORGE - MUNISIPALITEIT

APPROVED/GOEDGEKEUR

PLAN NO: 359023

DATUM/DATE: 2024-01-29

BOUBEHEER BEAMPT/BUILDING CONTROL OFFICIAL

- NOTES:
- FOR DETAILS OF MANHOLES AND ROODING EYES SEE DRAWING NO 2023/788/03
 - ALL SEWERAGE PIPES TO BE UPVC SOLID WALL CLASS 34

NR. NO.	DATUM DATE	WYSIGINGS AMENDMENTS

Batumi Consulting Engineers

113 Voortrekker Str
Lydenburg
Mpumalanga 1120

Fax: 086 651 3369
Tel: 013 235 2288
Cell: 082 440 6611

Mossel Bay Office

DPFS INVESTMENTS

PROJEK/PROJECT

NEW HOUSE ON ERF 788
WILDERNESS, GEORGE

TEKENING BESKRYWING/DRAWING DESCRIPTION

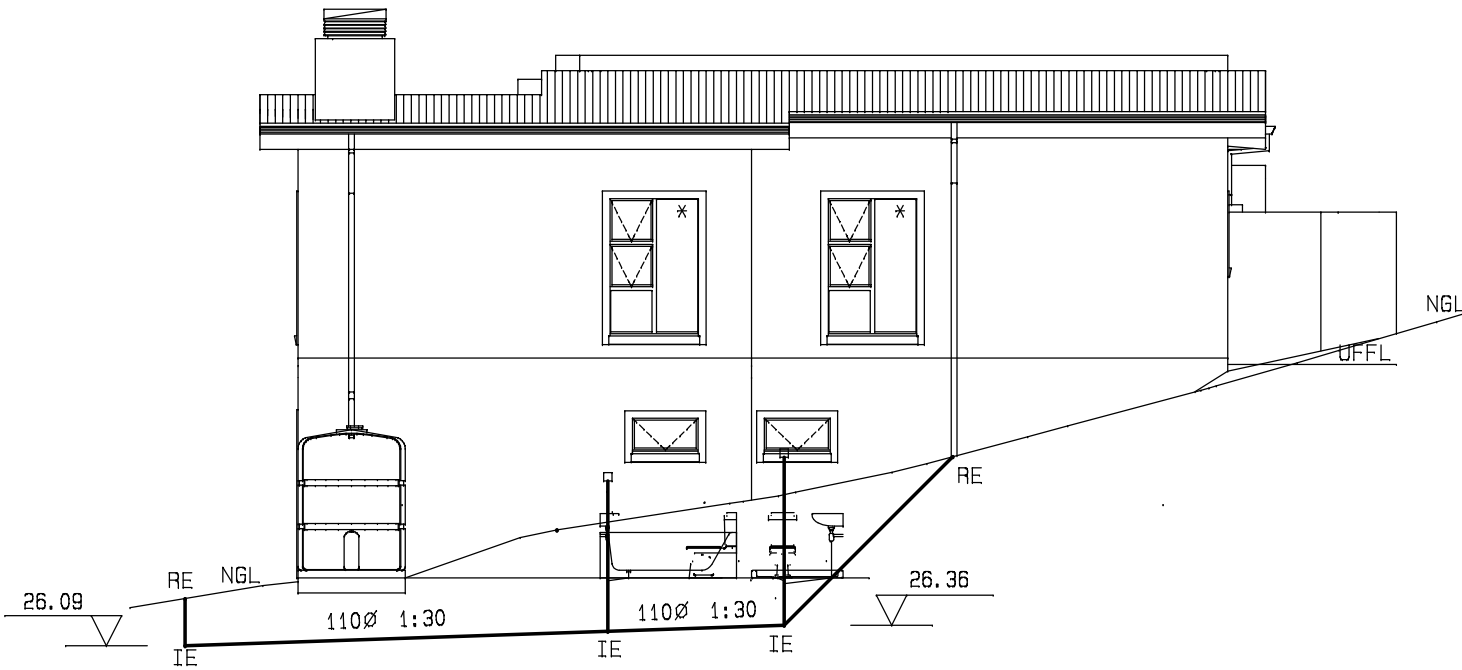
SEWERAGE SECTIONS

TEKENING NR./DRAWING NO.

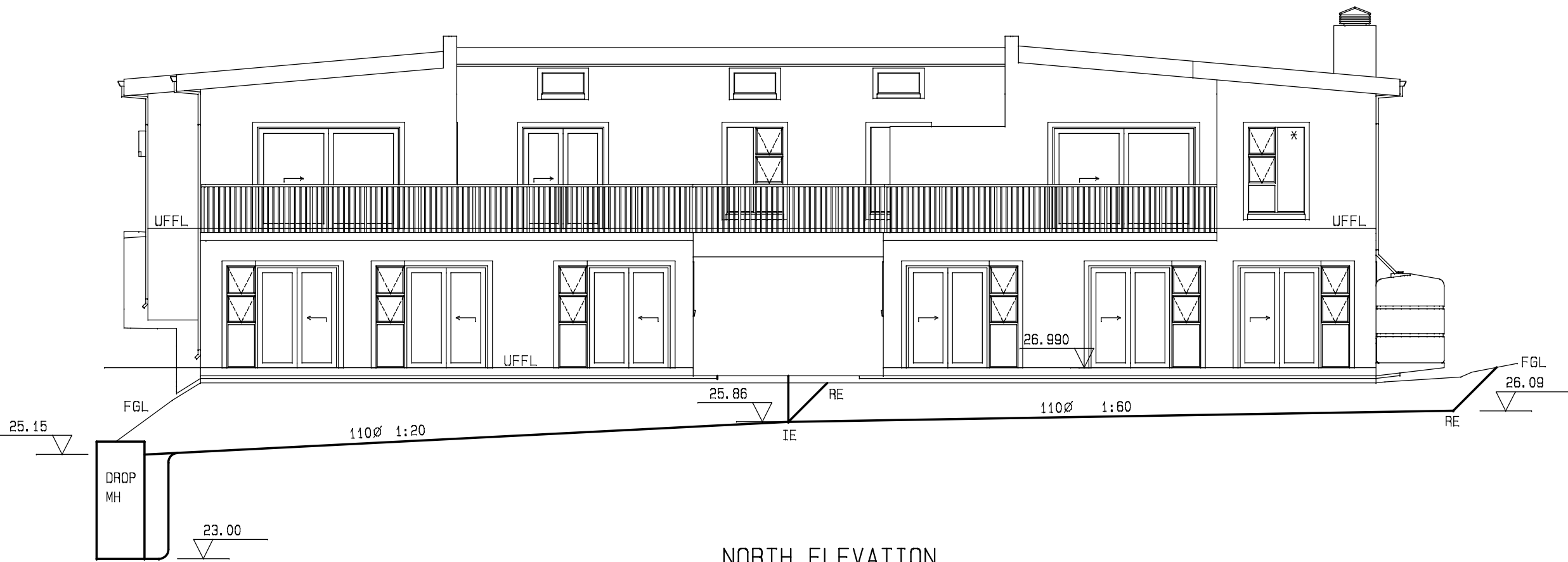
2023/788/02

01

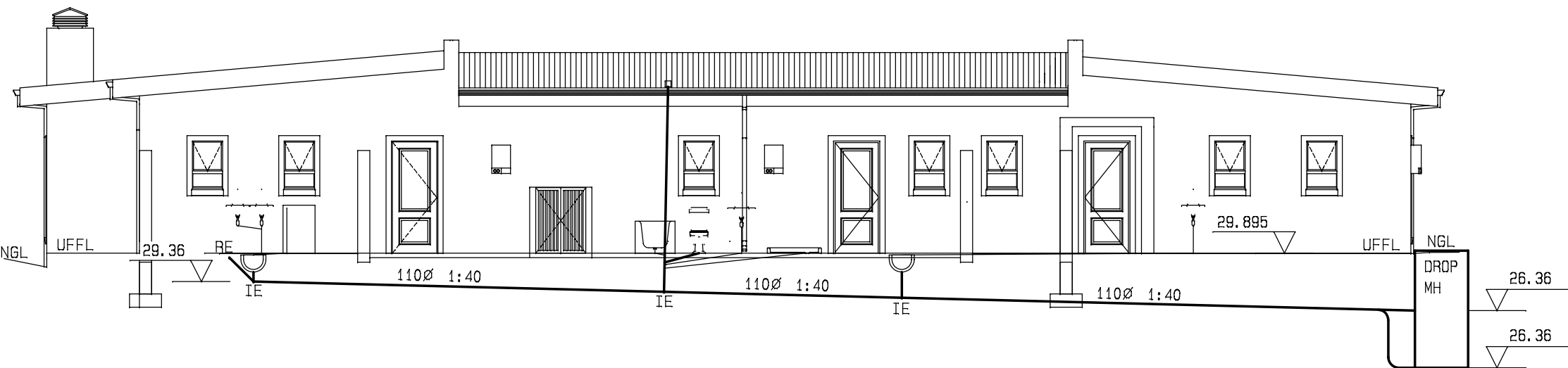
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LEER NR. FILE NO.		KLIENT CLIENT	
DATUM DATE	JUNE 2023	GETEKEN DRAWN	IL



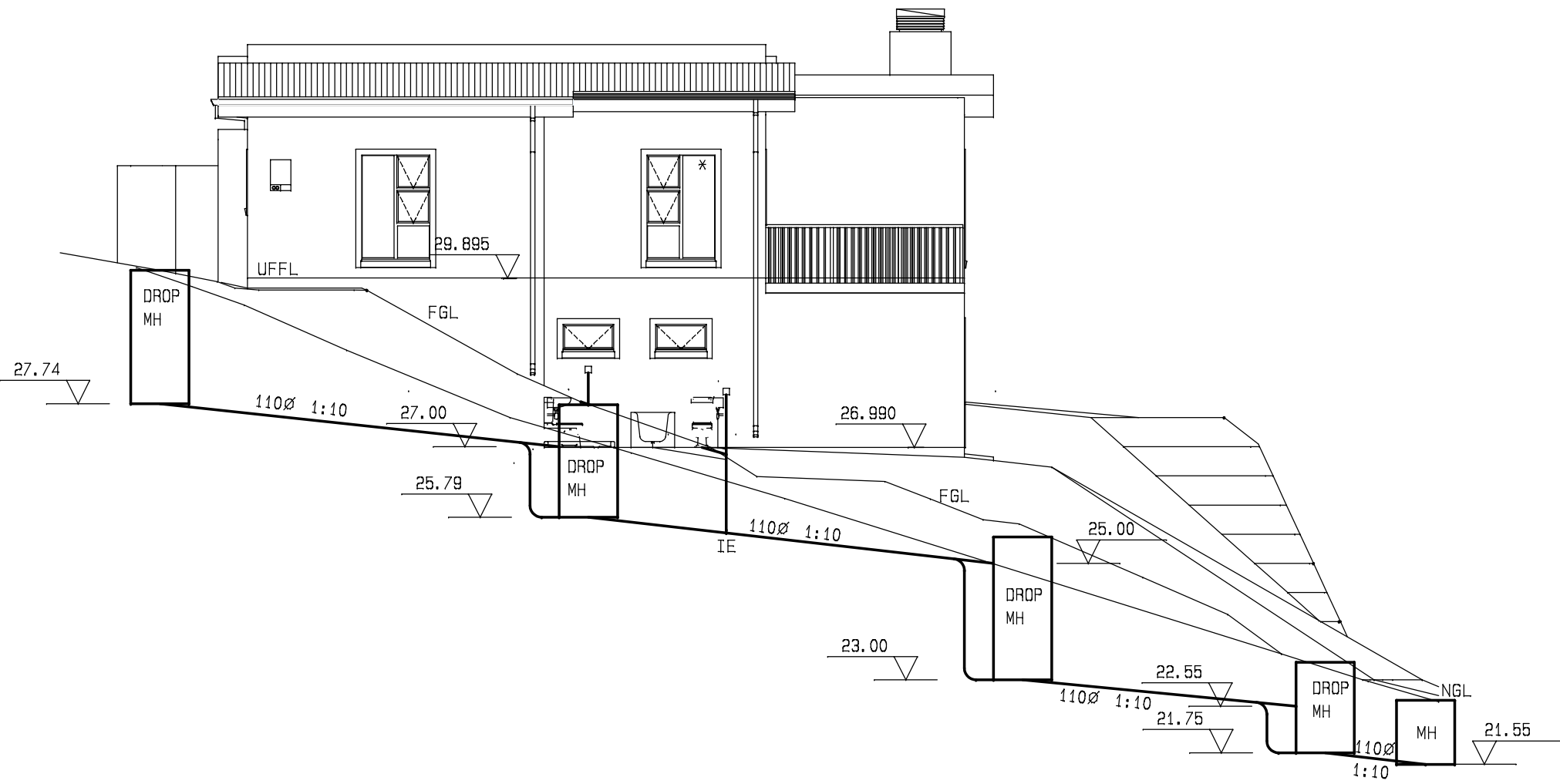
WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION