



The Municipal Manager
P O Box 19
George
6530

Reference: Erf 13164 George

5 August 2026

Sir

APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE RELAXATION AND DEPARTURE OF DEVELOPMENT PARAMETERS): ERF 131644 GEORGE

Attached hereto please find an application in terms of

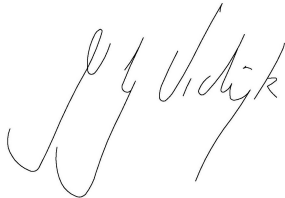
- Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the following building lines on Erf 13164 George:
 - the northern rear boundary building line from 3.0 metres to 0.0 metres to allow for the legalization of the existing outbuilding and covered stoep which is to be converted into a non-interleading habitable outside room (bedroom/entertainment area).
 - the southern street boundary building line from 5.0 metres to 1.970 metres varying to 1.715 metres to allow for the legalization of the existing double garage.
- Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from development parameter (e)(i)(cc) of the land use description of a “dwelling house” as per the George Integrated Zoning Scheme By-law, 2023 to accommodate the existing outbuilding and covered stoep (to be converted into a non-interleading habitable outside room (bedroom/entertainment

area)) with a total length of 15.280 metres located along the northern rear boundary of Erf 13164 George.

- Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from Section 45(4)(c) of the George Integrated Zoning Scheme Bylaw, 2023 to increase the maximum allowed width of the motor vehicle carriageway crossing from Rooiels Avenue to Erf 13164 George from 8.0 metres to 19.280 metres.
- Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from development parameter (e)(iii) applicable to a “dwelling house” as per the George Integrated Zoning Scheme By-law, 2023 to allow for the carport and double garage that is accessed perpendicular to the street boundary to be located 1.970 metres varying to 1.715 metres from the Rooiels Avenue street boundary of Erf 13164 George.

Your prompt consideration of the application will be appreciated.

Thanking you in anticipation.

A handwritten signature in black ink, appearing to read 'J. Vrolijk', with a stylized, cursive script.

Jan Vrolijk

MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE RELAXATION AND
DEPARTURE OF DEVELOPMENT PARAMETERS)
ERF 13164 GEORGE

5 August 2026



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MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE RELAXATION AND
DEPARTURE OF DEVELOPMENT PARAMETERS)
ERF 13164 GEORGE

1. BACKGROUND

The following applications for Erf 13164 George were submitted to the George Municipality on 4 June 2026:

- *“An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the following building lines on Erf 13164 George:*
 - ⇒ *the northern rear boundary building line from 3.0 metres to 0.0 metres to allow for the legalization of the existing outbuilding and covered stoep.*
 - ⇒ *the southern street boundary building line from 5.0 metres to 1.970 metres varying to 1.715 metres to allow for the legalization of the existing double garage.*
- *An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from development parameter (e)(i)(cc) of the land use description of a “dwelling house” as per the George Integrated Zoning Scheme By-law, 2023 to accommodate the existing outbuilding and covered stoep with a total length of 15.280 metres located along the northern rear boundary of Erf 13164 George.*
- *An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from Section 45(4)(c) of the George Integrated Zoning Scheme Bylaw, 2023 to increase the maximum allowed width of the motor vehicle carriageway crossing from Rooiels Avenue to Erf 13164 George from 8.0 metres to 19.280 metres.*

- *An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from development parameter (e)(iii) applicable to a “dwelling house” as per the George Integrated Zoning Scheme By-law, 2023 to allow for the carport and double garage that is accessed perpendicular to the street boundary to be located 1.970 metres varying to 1.715 metres from the Rooiels Avenue street boundary of Erf 13164 George.”*

In response to the submission a Section 40 letter was issued on 22 June 2026. A copy of the Section 40 letter is attached hereto as **Annexure “A”**. in terms of the Section 40 letter the following comments were provided that need to be addressed in the application:

- **“Motivation Report** - applicant to clarify and address existing encroaching vibracrete boundary wall over the street boundary line;
- **Site Plan / Site Development Plan** - applicant to upload the previously approved building plan indicating the outbuilding and prep bowl. Site plan to indicate and confirm the m² of the portion of the covered stoep and double garage over the building line.”

The following comments are provided in response to the two points mentioned in the Section 40 letter:

- Erf 13164 George was sold in August 2025 subject to a condition that the Seller at their own cost, will take the necessary steps to ensure that all buildings on the erf are accurately reflected on building plans and are approved by the George Municipality. A copy of the agreement between the Seller and the Purchaser to this effect is attached hereto as **Annexure “B”**. This will as such include the moving of the boundary wall to its correct position.

A note has as such been added to the site plan and building plan attached hereto as **Annexure “C”** indicating that the street boundary wall will be moved to the correct position. The new owners have indicated that this condition will be enforced, even if it means that legal steps have to be taken, as the new owners do not want to be encumbered by a situation surrounding the street boundary wall which might become an issue if the property is to be sold in the future or additions or alterations are proposed to the dwelling house.

The street wall will thus be moved to its correct position once this land use application and the building plans for all the buildings and structures on the erf has been approved by the George Municipality.

- A copy of an approved building plan for the dwelling house on Erf 13174 George dated 20 September 2004 is attached hereto as **Annexure “D”**. The existing outbuilding is not indicated on the approved building plan.

The approved subdivision diagram for Erf 6605 George dated 11 November 1986, attached hereto as **Annexure “E”** does however show this outbuilding. On the subdivision plan it is indicated as a “motorhuis”. Even though the building plan approved in 2004 does not show the outbuilding this outbuilding has been in existence since 1986.

The outbuilding has been converted, without approved plans, into a “Chef School” by the previous owner. The previous owner of the dwelling house on Erf 13164 George, was a professional chef and hosted cooking classes in the outbuilding. The outbuilding was fitted with ovens, wash basins and counter tops. A covered stoep, without approved building plans, was also added to this outbuilding. Apart from one oven and a prep bowl all other wash basins and stoves were removed by the previous owner when the property was transferred to the new owners.

The new owner’s intent to convert the outbuilding into a bedroom /entertainment area for their son. The outbuilding will thus be converted into a non-interleading habitable outside room (bedroom/entertainment area) by the new owners. The remaining fittings (oven, wash basin and counter tops) of the “Chef School will be removed by the new owners. The site plan and building plan attached as **Annexure “C”** indicates the proposed new use of this non-interleading habitable outside room without the oven and the prep bowl.

2. APPLICATION

- Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the following building lines on Erf 13164 George:

- ⇒ the northern rear boundary building line from 3.0 metres to 0.0 metres to allow for the legalization of the existing outbuilding and covered stoep which is to be converted into a non-interleading habitable outside room (bedroom/entertainment area).
- ⇒ the southern street boundary building line from 5.0 metres to 1.970 metres varying to 1.715 metres to allow for the legalization of the existing double garage.
- Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from development parameter (e)(i)(cc) of the land use description of a “dwelling house” as per the George Integrated Zoning Scheme By-law, 2023 to accommodate the existing outbuilding and covered stoep (to be converted into a non-interleading habitable outside room (bedroom/entertainment area)) with a total length of 15.280 metres located along the northern rear boundary of Erf 13164 George.
- Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from Section 45(4)(c) of the George Integrated Zoning Scheme Bylaw, 2023 to increase the maximum allowed width of the motor vehicle carriageway crossing from Rooiels Avenue to Erf 13164 George from 8.0 metres to 19.280 metres.
- Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from development parameter (e)(iii) applicable to a “dwelling house” as per the George Integrated Zoning Scheme By-law, 2023 to allow for the carport and double garage that is accessed perpendicular to the street boundary to be located 1.970 metres varying to 1.715 metres from the Rooiels Avenue street boundary of Erf 13164 George.

The proposed site plan and building plan indicating the existing outbuilding, covered stoep and double garage in relation to the street and side boundary building lines is attached hereto as **Annexure “C”**.

The completed application form for the application for the permanent departure is attached hereto as **Annexure “F”**.

3. PRE-APPLICATION CONSULTATION

A pre-application consultation was not required as the application entails permanent departures in terms of the George Integrated Zoning Scheme By-Law, 2023. This is in line with the e-mailed directive in this regard to various consultants by the Municipal Town Planners, which was issued by e-mail dated 10 May 2022.

4. DEVELOPMENT PROPOSAL

The application erf has been developed with a single-story dwelling house consisting of 3 bedrooms, 2 bathrooms, study, open plan kitchen, dining and lounge, a braai-room, scullery and covered stoep. Furthermore, the property has a double garage and outbuilding with a covered stoep. As indicated in point 1 above, the dwelling house has approved building plans; however; the dwelling house was built in the incorrect position on the erf and was placed more towards the southern street boundary of Erf 13164 George.

The previous owner sold the property and must provide approved building plans to the new owners. To enable the submission of as-built building plans the following departures is required:

- outbuilding (previously used for home occupation) and covered stoep located in the northern rear boundary building line;
- the total length of the outbuilding and covered stoep exceed 12 metres;
- the existing double garage is located in the southern street boundary building line and is accessed perpendicular to the street; and
- the width of the motor vehicle carriageway crossing exceeds the maximum permitted width of 8 metres.

The outbuilding located in the northern rear boundary building line was converted according to the previous owners needs to practice her home occupation. The previous owner of the dwelling house on Erf 13164 George, was a professional chef and hosted ad-hoc cooking classes in the outbuilding. The outbuilding was fitted with ovens, wash basins and counter tops. One built-in oven and prep bowl remained in the outbuilding; however, the current owner is prepared to remove the oven and prep bowl. The new owner's intent to convert the outbuilding into a

bedroom /entertainment area for their son. The outbuilding will thus be converted into a non-interleading habitable outside room (bedroom/entertainment area) by the new owners.

The following photo indicates the outbuilding and covered stoep. The covered stoep is currently not used.



Due to the incorrect positioning of the dwelling house on the erf, the double garage is located over the southern street boundary building line and require building line relaxation. The following photo indicates the double garage and access gate.



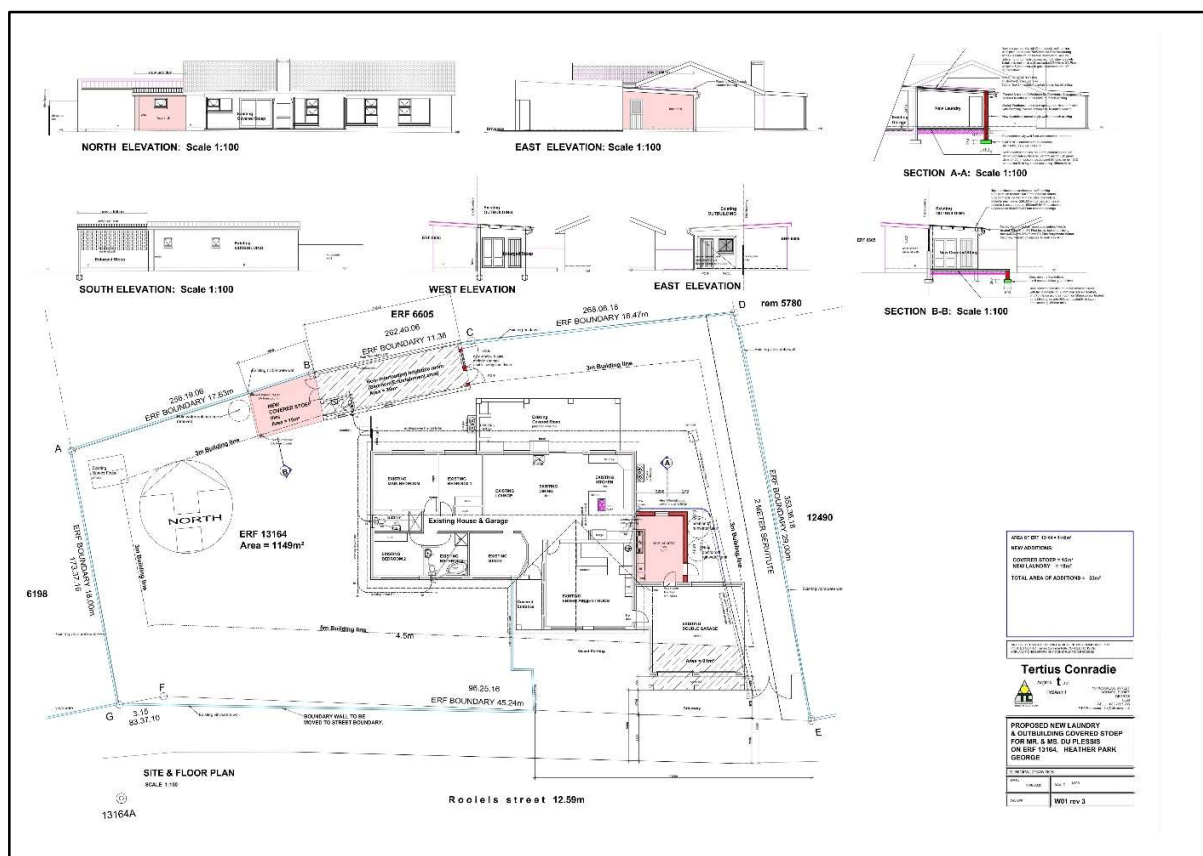
The photo below indicates the existing motor vehicle carriage way crossing, that exceeds the maximum width of 8 metres. The existing motor vehicle carriage way crossing has a width of approximately 19.280 metres. It should be noted that the access gate is only used when the owner moves his caravan. The previous owner enlarged the access to provide parking for her guests that attended her cooking classes. The current owner only uses this paved area during the day for private use as the motor vehicles are stored in the garage at night. The current owner might in future change the existing carriage way crossing, however the sole purpose of the application is to do the necessary departure applications to enable the previous owner to obtain as-built building plans, to finalise the sale of the property.



The position of the existing double garage necessitates the departure of the development parameter e(iii) “Garages, carports and outbuildings” applicable to a “dwelling house” in the George Integrated Zoning Scheme By-Law, 2023, which states that for land units exceeding 650m², a garage or carport that is accessed perpendicular to the street boundary may not be closer than 5 metres from the street boundary, notwithstanding the street building line.

Although the double garage encroaches the southern boundary building line, the distance to the street curb is approximately 6 metres. A vehicle will thus be able to reverse out of the garage, remain partially on the property and partially on the sidewalk, before entering the road surface. Rooiels Avenue is a quiet neighbourhood street and mainly provide access to the properties situated along the street.

The purpose of this application is to obtain approval in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for the various permanent departures as mentioned in the paragraphs above. The following site plan indicates the existing outbuilding, covered stoep and double garage.



A copy of the proposed site and building plan attached hereto as **Annexure "C"**.

5. GENERAL INFORMATION REGARDING ERF 13164 GEORGE

4.1 Locality

Erf 13164 George is situated at 14 Rooiels Avenue in Heatherpark, George. The locality of the erf is indicated on the locality plan which is attached hereto as **Annexure "G"**.

4.2 Existing land use

Erf 13164 George is currently used for single residential purposes.

4.3 Extent of erf

Erf 13164 George is 1149m² in extent.

4.4 Present zoning

In terms of the George Integrated Zoning Scheme By-Law, 2023, the zoning of Erf 13164 George is Single Residential Zone I. In terms of this zoning, the erf may be used for the purposes of a “dwelling house”.

The extent of the application erf is 1149m². The coverage and building lines applicable to a “dwelling house” are set out in a table in Schedule II of the George Integrated Zoning Scheme, 2023. The street building line applicable to a dwelling house on an erf greater than 1 000m² is 5.0 metres and the side and rear building lines are 3.0 metres.

Apart from the existing outbuilding, covered stoep and double garage that require building line relaxation, the dwelling house complies with all other development parameters.

Development Parameter (e) “Garages, carports and outbuildings” of the development parameters applicable to a “dwelling house” in the George Integrated Zoning Scheme By-law, 2023 stipulates, inter alia, as follows:

- (i) *“A garage, carport and outbuildings are permitted within the common boundary building line provided that the garage, carport, and outbuilding-*
 - (aa) *do not exceed a height of 4 metres;*
 - (bb) *does not contain more than a double garage façade facing a public street;*

(cc) *when combined, does not exceed a length of 12 metres along a common boundary building line*

(dd) *does not include a braai room or entertainment area.”*

(iii) *“For land units exceeding 650m², a garage or carport that is accessed perpendicular to the street boundary may not be closer than 5 metres from that street boundary, notwithstanding the street building line.”*

Except for development parameter e(i)(cc) the outbuilding conforms with the mentioned stipulations whilst the double garage does not comply with development parameter e(iii).

The building line relaxation and the departures of the development parameters are motivated in further detail in point 5 of this motivation report.

4.5 Surveyor General Diagram

A copy of the Surveyor General Diagram of Erf 13164 George is attached hereto as **Annexure “H”**.

4.6 Title Deed

Erf 13164 George is registered in the name of Edrick Lodewikus Bruwer (ID Number 7707015036083) and Leonie Bruwer (ID Number 8107220004084). The Title Deed T53389/2025 of the application erf is attached hereto as **Annexure “I”**.

4.7 Power of Attorney

A Power of Attorney, whereby Jan Vrolijk Town Planner / Stadsbeplanner is appointed by Edrick Lodewikus Bruwer and Leanie Bruwer, the registered owners of Erf 13164 George, to prepare the application referred to in point 1 of this motivation report and to sign all relevant documents is attached hereto as **Annexure “J”**.

4.8 Bondholder's Consent

Erf 13164 George is encumbered by a bond. The bondholders' consent is attached hereto as **Annexure "K"**.

4.9 Conveyancer Certificate

A Conveyancer Certificate in respect of Erf 13164 George is attached hereto as **Annexure "L"**. The certificate confirms that there are no conditions in the Title Deed of the property which prohibits the development of the erf as proposed in this application.

6. DESIRABILITY OF THE APPLICATION FOR PERMANENT DEPARTURE (BUILDING LINE RELAXATION AND DEPARTURE OF DEVELOPMENT PARAMETERS): ERF 13164 GEORGE

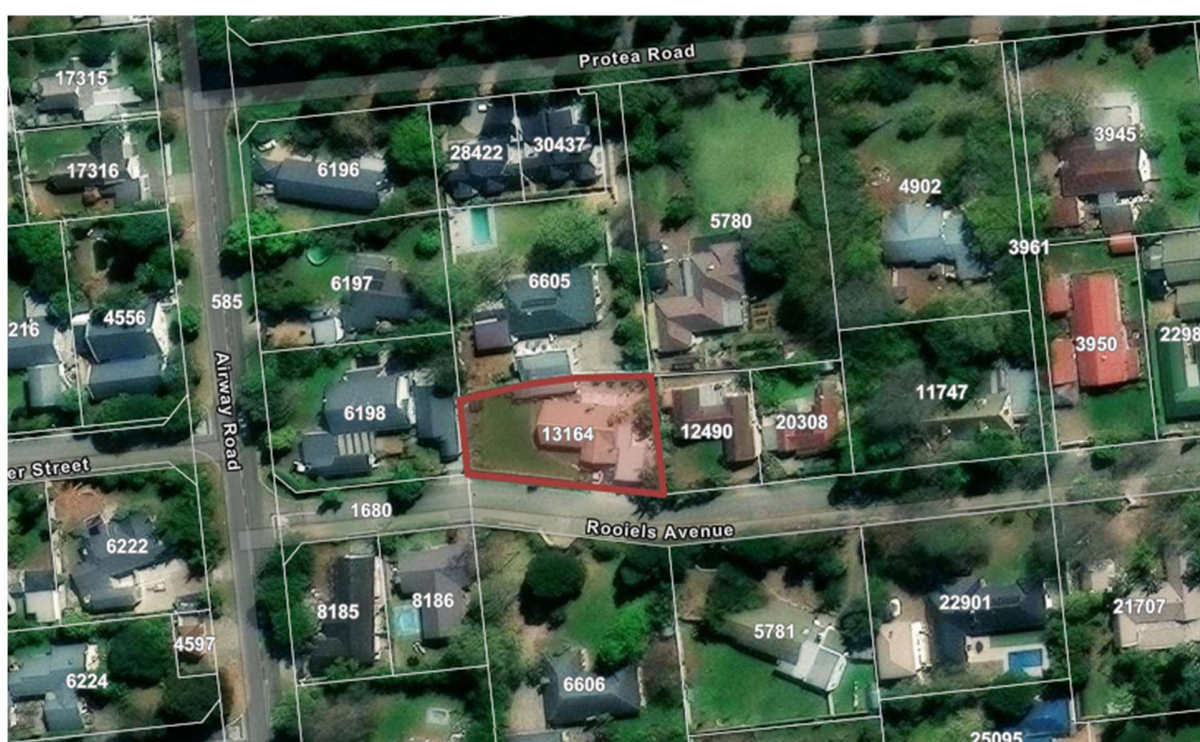
5.1 Introduction

Specific issues which must be addressed in the motivation of applications are highlighted in the Land Use Planning By-Law for George Municipality, 2023. These issues are, however, aimed at more complex applications and are not applicable to applications such as an application for building line relaxation or a permanent departure from the development parameters in the George Integrated Zoning Scheme By-law, 2023. This application will therefore be motivated with reference to the following aspects:

- *Compatibility of the proposal with the existing planning and land uses of the surrounding area.*
- *The impact that the proposal will have on surrounding facilities such as schools, open spaces and other community facilities, should the application result in an increase in the population of the area concerned.*
- *The impact that the proposal will have on the existing character of the surrounding area and the right of the inhabitants of the area in respect of property values, privacy, view, sunlight, et cetera.*
- *The impact that the proposal will have on traffic and parking in the surrounding area.*
- *Provision of essential services.*

5.2 Existing planning and development in the area

The area of Heatherpark where the application erf is located, has a predominately single residential land use character. The dwelling houses and outbuildings of various architectural design and extent are situated in neatly kept gardens. The following aerial photo indicates the locality of the application erf, as well as the structures on the erf, in relation to the surrounding erven.



The following photo indicates the existing double garage in relation to the adjacent neighbouring property, Erf 12490 George, as well as from the street boundary. The existing garage and access gate has been in that position for many years and do not negatively impact the character of the area.



The photo below, indicates the distance from the street to the existing double garage. The width of the access is not extensive and is located on the south-eastern corner of the erf, furthest away from the Airway Road and Rooiels Avenue intersection. The existing garage and access have been utilised as such for many years without any known objections.



The permanent departure as proposed in this application, will therefore not establish an undesirable precedent and can be accommodated within the existing planning of the area concerned.

5.3 Impact on schools, open spaces and other community facilities

The permanent departure for the building line relaxation and departure of certain development parameters in terms of the George Integrated Zoning Scheme Bylaw, 2023 will not result in an increase in the number of inhabitants of the erf beyond that which is accommodated in the zoning of the erf. As such, the proposal will not have an impact on schools, open spaces and other community facilities in the area. This aspect is, therefore, not relevant to this application.

5.4 Impact on streetscape

The following Google earth street view image indicates the street elevation from Rooiels Avenue of the application erf. The outbuilding and covered stoep is barely visible from the street elevation and can therefore not have any negative impact on the streetscape. The existing double garage has been in that position for many years without any known negative impacts.



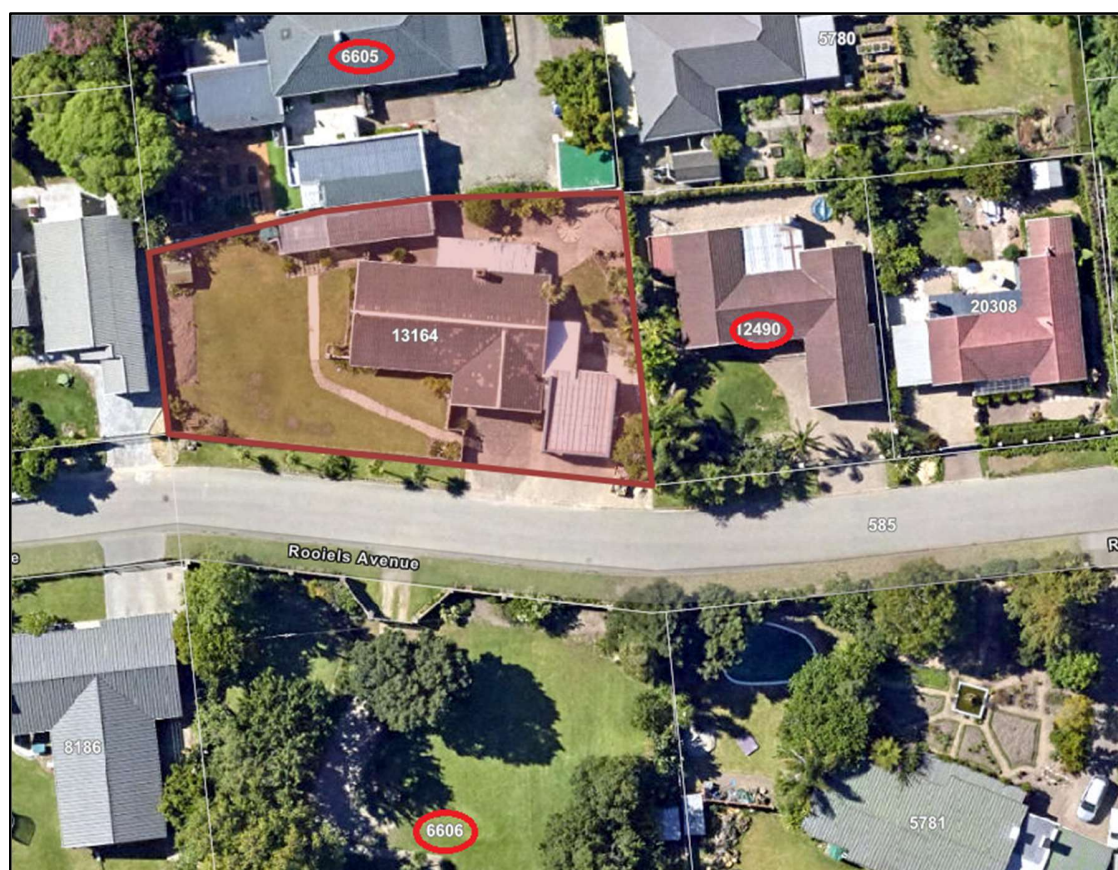
The permanent departures as proposed in this application will, therefore, not have a negative impact on the streetscape in the vicinity of the application property.

5.5 Impact on sunlight, view and privacy

The application erf is located in a quiet neighbourhood street, Rooiels Avenue. The following aerial photo indicates that the only erven which could possibly be affected by the proposed

permanent departures, is Erf 6605 George, Erf 6606 George and Erf 12490 George, which is situated north, south and east of Erf 13164 George. As can be seen from the aerial photo below the existing outbuilding and covered stoep is adjacent to a similar structure on Erf 6605 George and for this reason the existing outbuilding and covered stoep (to be converted into a non-interleading habitable outside room (bedroom/entertainment area) by the new owners) cannot negatively impact the adjacent neighbouring property.

The street boundary building line relaxation cannot negatively impact Erf 12490 George, as their access is located on the eastern extent of Erf 12490 George. The access to Erf 6606 George is not located opposite the access to Erf 13164 George and can therefore not negatively impact Erf 6606 George.



The proposed permanent departures will, therefore, not have a negative impact on the sunlight, view or privacy in respect of any adjacent erf.

5.6 Impact on property values

As indicated in the previous paragraphs, the structures in respect of which the permanent departures are required, do not have a negative impact on any of the surrounding properties. The outside finish is of good quality and well maintained. The double garage and outbuilding with covered stoep, to be converted into a non-interleading habitable outside room (bedroom/entertainment area) by the new owners will add value to the utilization of the erf.

The value of surrounding properties can, therefore, not be negatively impacted upon by the proposal.

5.7 Impact on the provision of parking

The parking requirements applicable to different land uses are set out in table format in Section 42 of the George Integrated Zoning Scheme, 2023. In respect of dwelling houses on erven larger than 350m², provision must be made for a minimum of 2 on-site parking bays per dwelling house.

As indicated on the site and building plan attached hereto as **Annexure “A”**, a double garage will provide parking space for 2 motor vehicles. The number of parking bays therefore conforms with the parking requirement in the George Integrated Zoning Scheme, 2023.

The provision of on-site parking will, therefore, not be negatively impacted upon by the granting of the permanent departures as proposed.

5.8 Impact on traffic circulation

Development parameter (4) of Section 45, “Site Access and Exits” stipulates the following parameters regarding site access and exits from a public street:

“(4) Vehicle entrances and exit ways to and from a property must conform to the following requirements:

- (a) *motor vehicle carriageway crossings must be limited to one per site per proclaimed street, public street or private road abutting the site;*
- (b) *despite paragraph (a), where the total length of any street boundary of a site is 30 metres in length or more, one additional carriageway crossing may be permitted, provided that no two carriageway crossings are closer than 12 metres to each other;*
- (c) *the minimum and maximum widths of motor vehicle carriageway crossings must be in accordance with the table, titled "Width of motor vehicle carriageway crossings" as measured on the street boundary, where a single carriageway crossing means the crossing may only be used as either an entrance or an exit only, not both, and a combined carriageway crossing means that the crossing can be used for both an entrance and an exit;"*

WIDTH OF MOTOR VEHICLE CARRIAGEWAY CROSSINGS

Type of carriageway crossing	Minimum width	Maximum width
<i>Dwelling units</i>	<i>2.5 metres</i>	<i>8.0 metres</i>
<i>Single entrance or exit way for other land uses</i>	<i>2.5 metres</i>	<i>4.0 metres</i>
<i>Combined entrance and exit way for other land uses</i>	<i>5.0 metres</i>	<i>8.0 metres</i>

The site access and exits, in development parameter (c) and the table named "Width of motor vehicle carriageway crossings" state the minimum and maximum width of site access and exits for dwelling units. The access for the proposed carport and double garage is more than the maximum width of 8.0 metres and therefore a departure is required. Although, a departure is required, the increase width of the carriageway crossing will not have any negative impact on the traffic circulation in Rooiels Avenue. Rooiels Avenue is a quiet neighbourhood street and is not part of the public transport routes for the Go George busses.

The permanent departures as proposed in this application can thus not have any negative impact on the traffic situation in Rooiels Avenue.

5.9 Provision of services

Municipal services are available to the application erf. The application erf has already been developed with a dwelling house and outbuildings, all of which have been connected to municipal

services. Should any upgrade or extension of the existing municipal infrastructure be required because of this application, all costs because of such extension will be for the account of the applicant, subject to the conditions of the municipality.

5.10 Firefighting

The firefighting requirements stipulated in the fire-regulations will not be negatively impacted upon as the application erf is a corner erf, which will still be fully accessible for fire-fighting purposes.

7. CONCLUSION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure to relax building lines as well as departures from the development parameters as per the George Integrated Zoning Scheme By-law, 2023, to accommodate the proposed converted outbuilding and covered stoep, double garage and the width of the carriageway crossing as well as the access perpendicular to the street boundary of Erf 13164 George.

The application conforms with the prescriptions contained in the Land Use Planning By-Law for George Municipality, 2023 and is submitted for consideration in accordance with the relevant stipulations of the title deed of the erf and the mentioned By-Law.

ANNEXURE "A" – SECTION 40 LETTER DATED 22 JUNE 2026

APPLICATION REFERENCE: 4836347
INTERNAL REFERENCE: 4297904

DATE: 2026-06-22

APPLICANT NAME: Jan Vrolijk
EMAIL ADDRESS: janvrolijk@jvtownplanner.co.za

In terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to the applicant as stated above. No information will be given to any third party and/or landowner (if the landowner is not the applicant).

LETTER (1) IN TERMS OF SECTION 40 OF LUP BY-LAW, 2023

APPLICATION FOR DEPARTURES IN TERMS OF SECTION 15(2)(B) OF THE LAND USE PLANNING BY-LAW, 2023 FOR RELAXATIONS OF BUILDING LINES AND AN ADDITIONAL CARRIAGEWAY CROSSING.

Property Description: Erf 13164, George

Application Description: Several permanent departures on Erf 13164, George

The above-mentioned application(s) submitted per email dated **2026-06-04** do not comply with Section 38 of the Land Use Planning By-law for George Municipality, 2023 and is deemed to be incomplete.

The following is outstanding and/or needs to be amended:

- 1. Motivation Report;**
- 2. Site Plan / Site Development Plan**

All enquiries follow ups and documentation submissions need to be directed to the relevant case officer as marked below. The relevant Town Planner **Robin-Lee Hector**, should be copied in the e-mail: rlhector@george.gov.za as well as the relevant Senior Town Planners, Naudica Swanepoel (even erf numbers) nswanepoel@george.gov.za or Ilane Huyser (uneven erf numbers) ihuyser@george.gov.za.

General Town Planning Comments

- 1. Motivation Report** - applicant to clarify and address existing encroaching vibracrete boundary wall over the street boundary line;
- 2. Site Plan / Site Development Plan** - applicant to upload the previously approved building plan indicating the outbuilding and prep bowl. Site plan to indicate and confirm the m² of the portion of the covered stoep and double garage over the building line.

The relevant case officer for this project is:

Primrose Nako email: pnako@george.gov.za

Please amend the application accordingly and upload the amended application/supporting document on the Portal within 14 days from the date of letter and notify the relevant Town Planner and Case

Officer per email. A request for extension may be submitted to the relevant Town Planner as well as the Senior Town Planner for consideration.

Should the application/supporting documents not be uploaded within 14 days, or an extension be granted, the application will be closed in terms of Section 41(3) read with 41(4) of the Land Use Planning By-law for George Municipality, 2023.

Yours faithfully



Robin-Lee Hector

Town Planner

Planning and Development

ANNEXURE “B” – AGREEMENT BETWEEN SELLER AND PURCHASER

ADDENDUM TO AGREEMENT OF SALE

By and between

HENDRICK DU PLESSIS and KAREN DU PLESSIS
("the Seller")

and

EDRICK LODEWIKUS BRUWER and LEONIE BRUWER
("the Buyer")

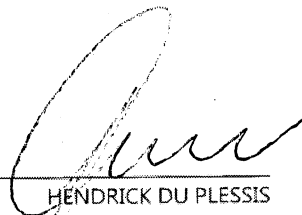
in respect of **ERF 13164 GEORGE** (14 ROOIELS AVENUE, HEATHER PARK, GEORGE) as per the Agreement of Sale dated 31 MARCH 2025

IT IS HEREBY AGREED BETWEEN THE PARTIES THAT:

The Sellers will, before registration of transfer, at their own cost, take the necessary steps to ensure that all buildings on the premises are accurately reflected on the building plans and are approved by the George Municipality.

THUS, DONE and SIGNED by the Seller at

on


HENDRICK DU PLESSIS

KAREN DU PLESSIS

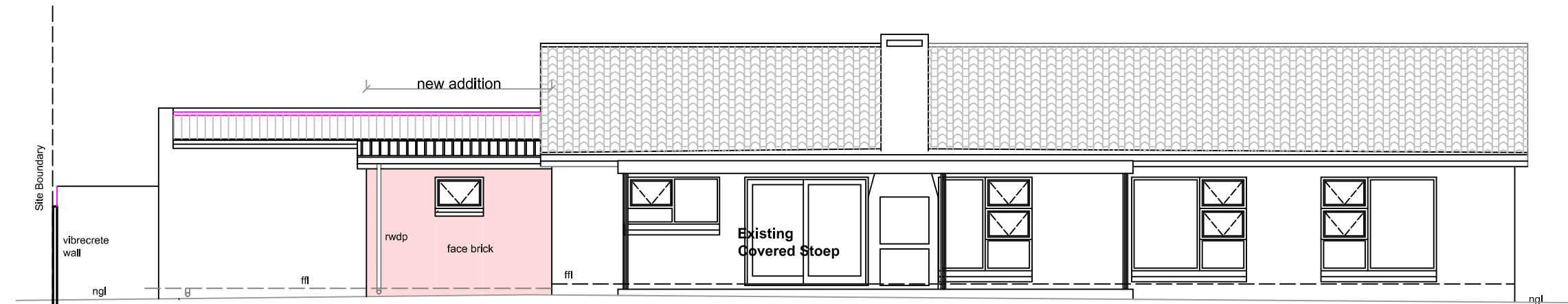
THUS, DONE and SIGNED by the Buyer at

on

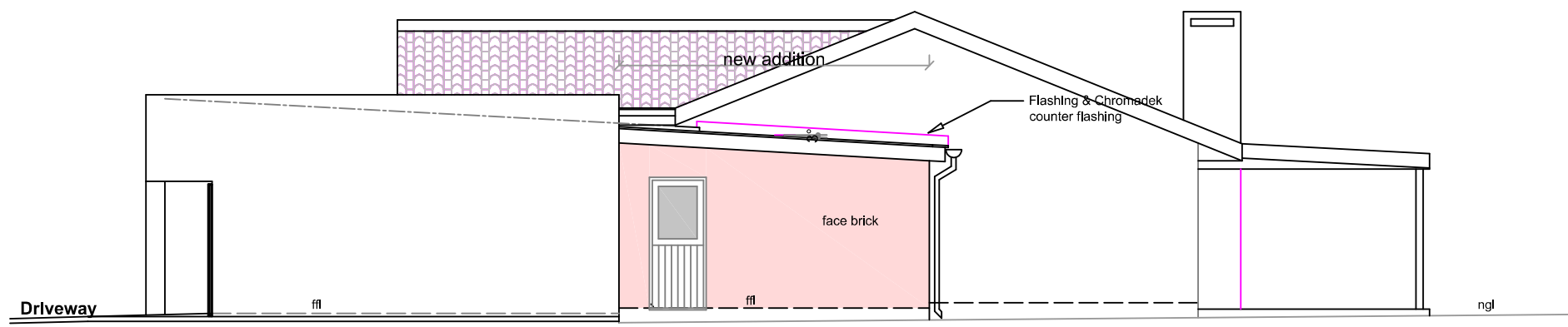

EDRICK LODEWIKUS BRUWER

LEONIE BRUWER

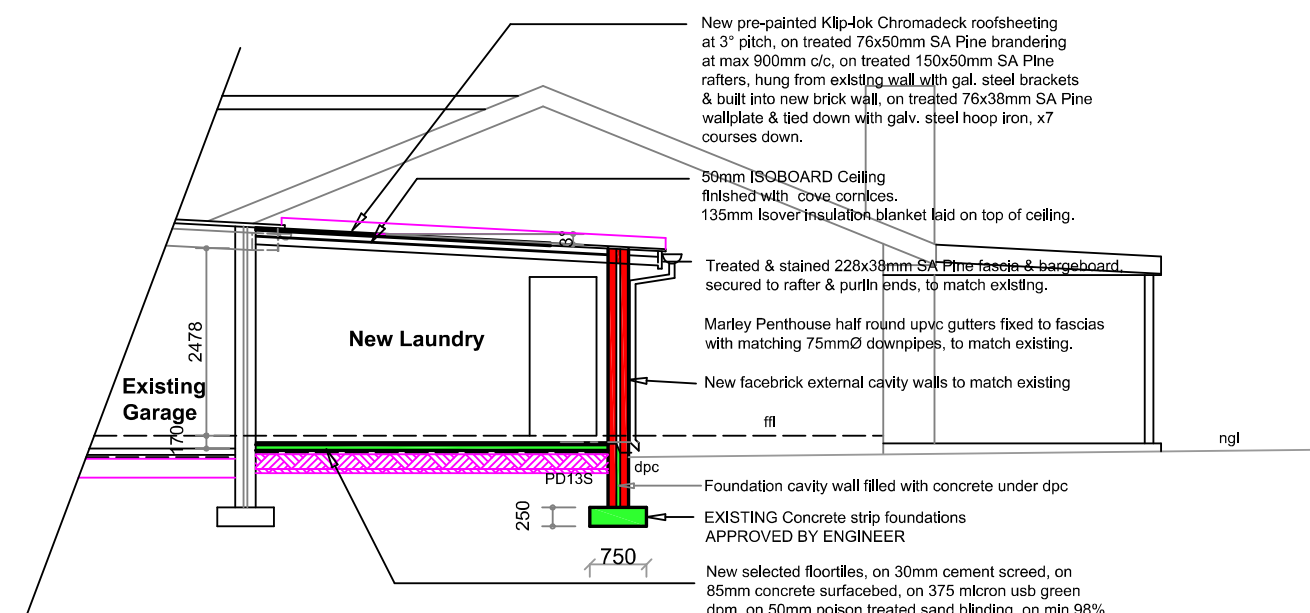
ANNEXURE "C" – SITE PLAN AND BUILDING PLAN



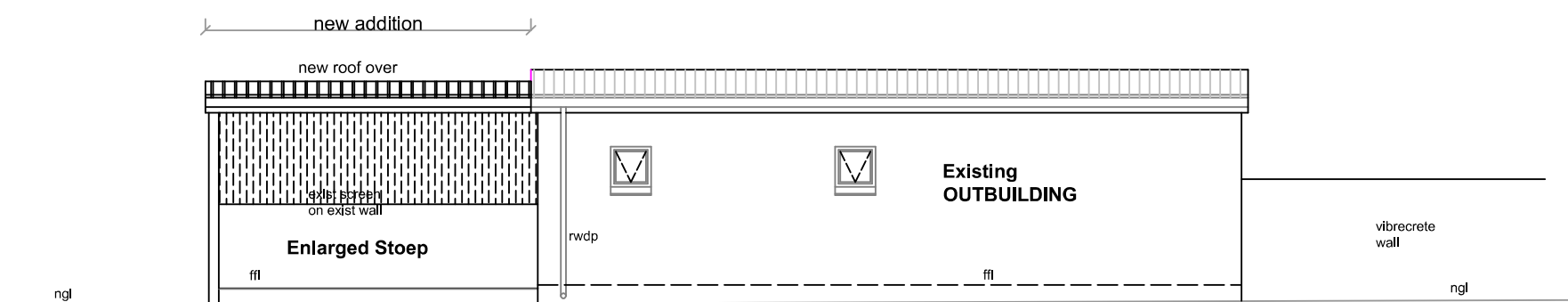
NORTH ELEVATION: Scale 1:100



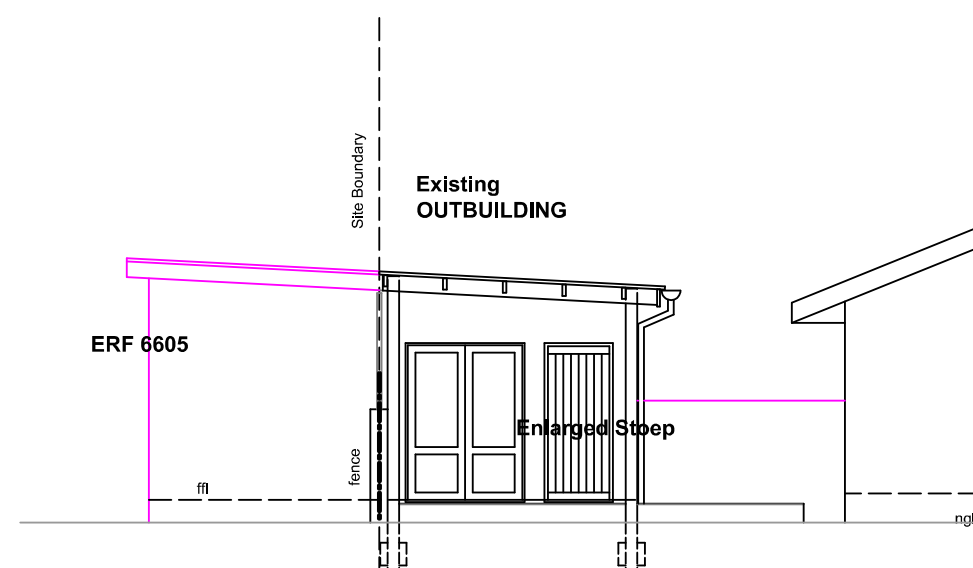
EAST ELEVATION: Scale 1:100



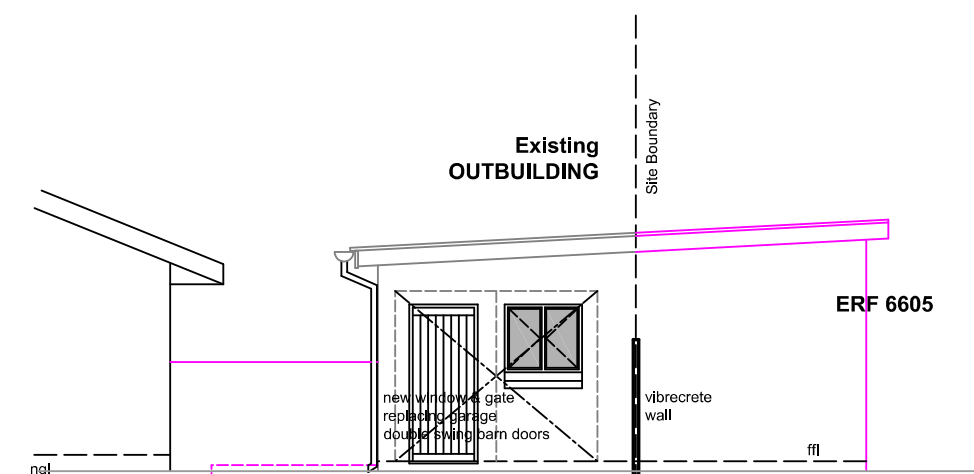
SECTION A-A: Scale 1:100



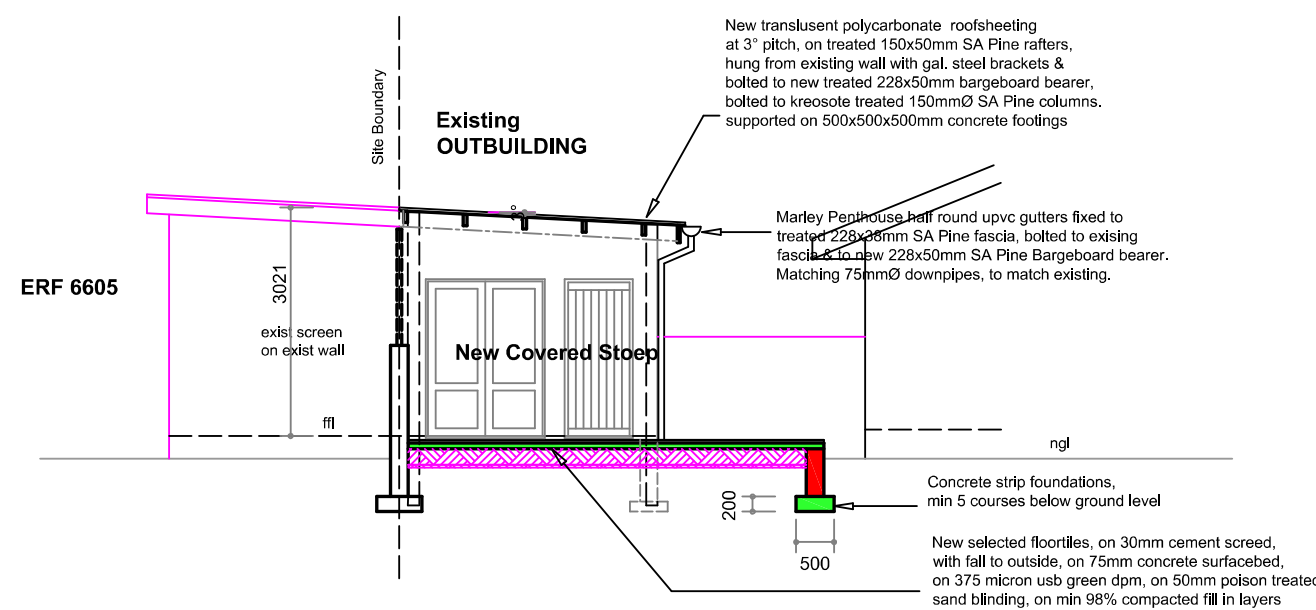
SOUTH ELEVATION: Scale 1:100



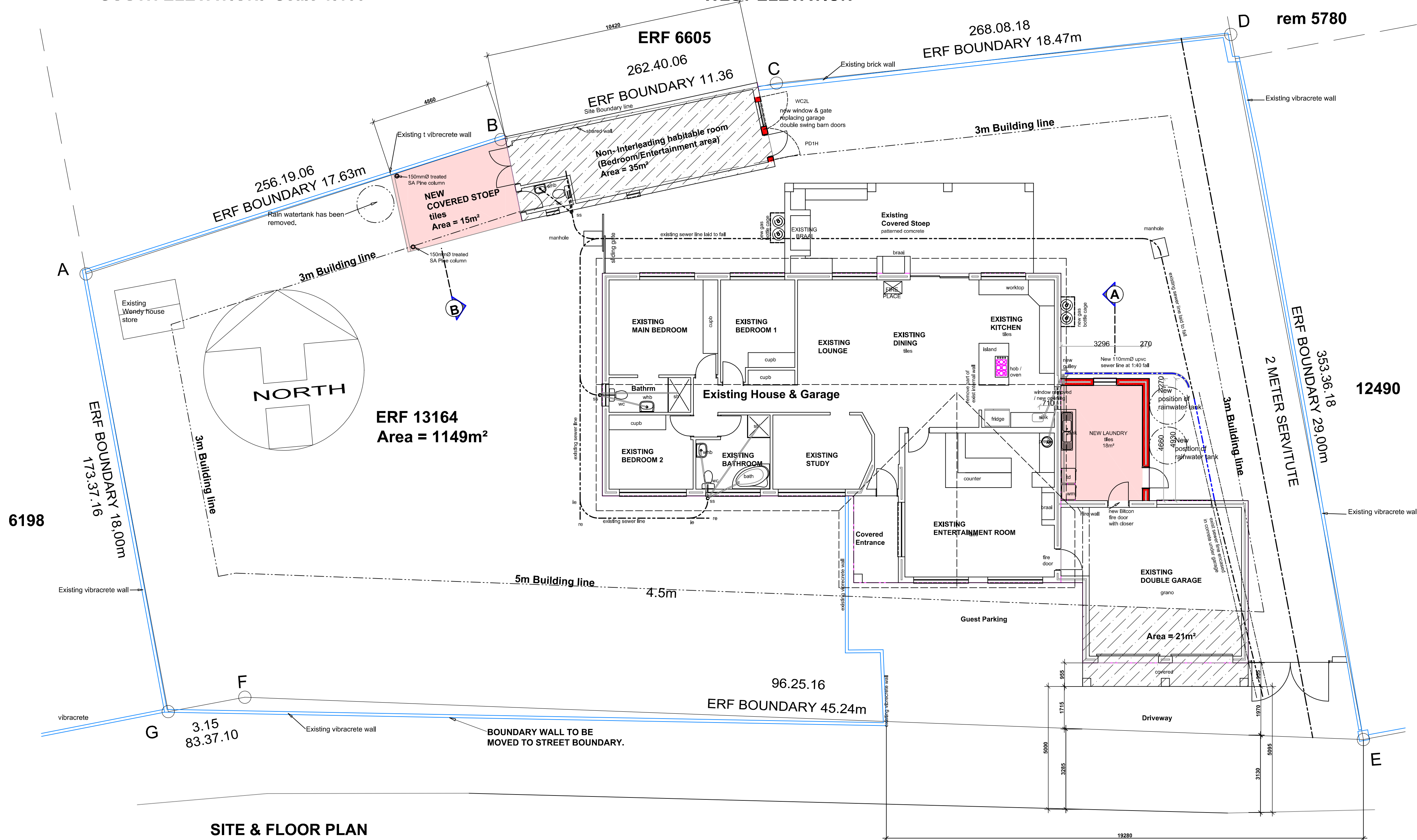
WEST ELEVATION



EAST ELEVATION



SECTION B-B: Scale 1:100



SITE & FLOOR PLAN
SCALE 1:100

AREA OF ERF 13164 = 1149m²
NEW ADDITIONS:
COVERED STOEP = 15m²
NEW LAUNDRY = 18m²
TOTAL AREA OF ADDITIONS = 33m²

ANY DISCREPANCIES OR CONTRADICTIONS MUST IMMEDIATELY BE
POINTED OUT TO: Tertius Conradie FOR CORRECTIONS OR
EXPLANATIONS BEFORE ANY CONSTRUCTION PROCEED.

Tertius Conradie



Argitek t uur
PrSArchT

15 PROGRESS STREET
DORMEHL SORIFT
GEORGE
6530
SELL: 083 7227 283
E POS: tertiusconradie@telkomsat.net

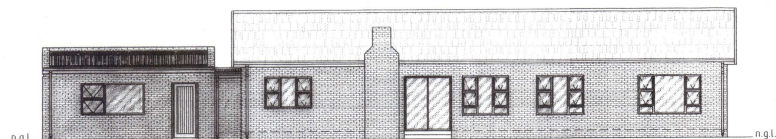
**PROPOSED NEW LAUNDRY
& OUTBUILDING COVERED STOEP
FOR MR. & MS. DU PLESSIS
ON ERF 13164, HEATHER PARK
GEORGE**

MUNICIPAL DRAWINGS	
DATE	4-08-2026
SCALE	1/100
OWNER	W01 rev 3

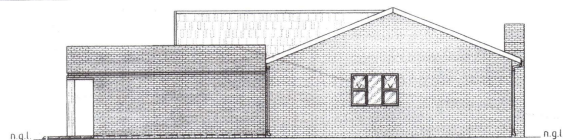
ANNEXURE “D” – APPROVED BUILDING PLAN DATED 20 SEPTEMBER 2004



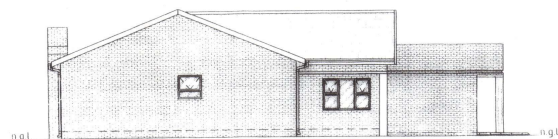
SOUTH ELEVATION



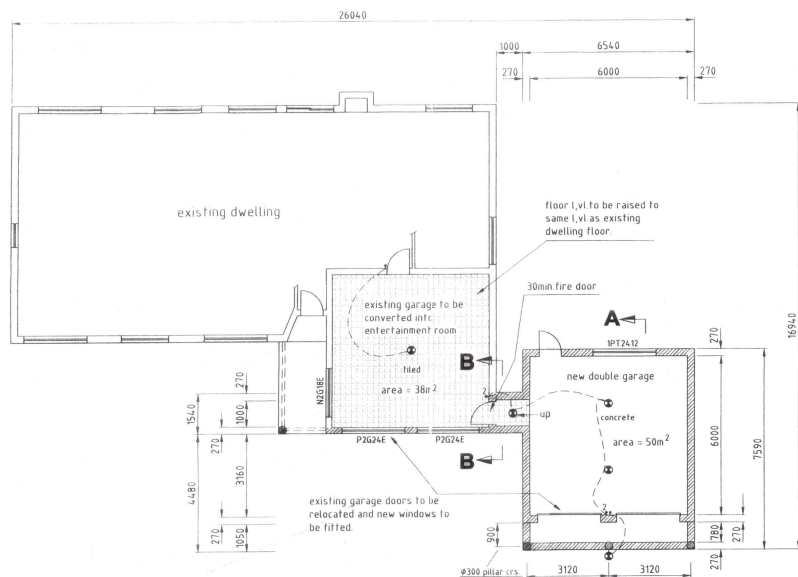
NORTH ELEVATION



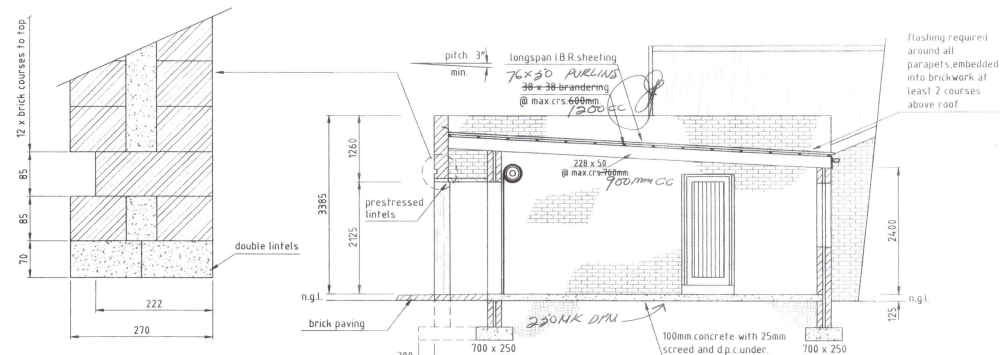
EAST ELEVATION



WEST ELEVATION



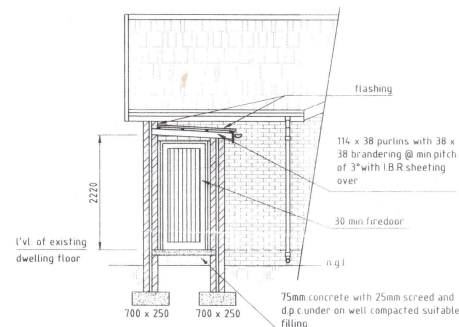
FLOOR PLAN Scale 1:100



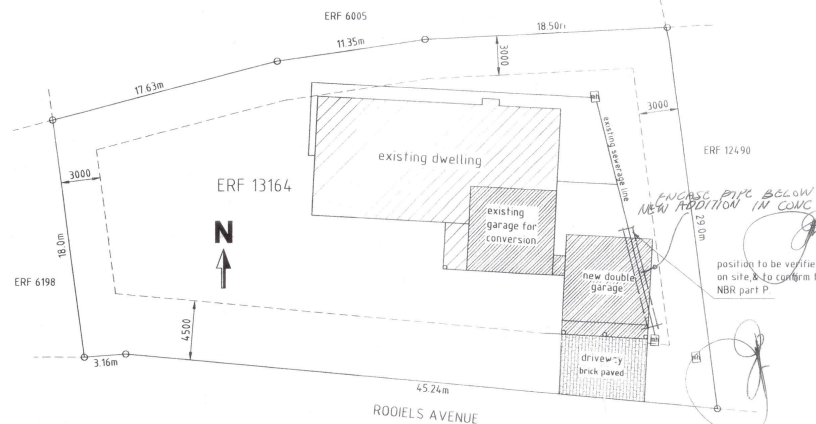
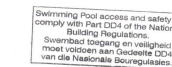
BRICK RECESS DETAIL

TYP. ON 3 SIDES Scale 1:5

SECTION TH'RO.A-A Scale 1:50



SECTION TH'RO.B-B Scale 1:50



SITE PLAN Scale 1:200

ROOF: Garage roof 228 x 50 purlins @ max.crs. of 600mm with longspan I.B.R. sheeting @ min. pitch of 3°. Flashing to be fitted to roof and parapet wall abutments. Gutters & downpipes as per existing.

WALLS: All external walls to be facebrick to match existing. Lintels over openings as shown. Brickforce to be installed every 5 layers. S.A.B.S. approved wall ties to be installed evenly distributed at a rate of 2.5 per M. Internal walls to be finished to clients specifications.

FLOORS: New floor to be at level of existing. Coverings as shown. 25mm screed on 75mm slab with an S.A.B.S. approved d.p.c. under.

Garage floor 25mm screed on 100mm concrete slab.

GARAGE: Existing Roll-up doors to be relocated to new garage.

SEWERAGE: Any part of the existing sewerage line that falls under the concrete slab to conform to NBR part P. Position to be verified on site.

PETER GRIMES

SACAP Reg No ST0074 - P/S Arch T (No 70131)
Tel: +27 44 871 7658 Cell: +27072 237 7285
E-mail: arch@petergrimes.co.za
Suite 1 (nr Meade & Fitch St)
P.O. Box 2446, George, 6510, SOUTH AFRICA

Member SA Council for the Architectural Profession
Dr W Marx,
14 Rouels Avenue,
Heather Park, George

Title:
PROPOSED ALTERATIONS & DOUBLE GARAGE TO DWELLING ON ERF 13164

drawn:
W. Jordison, Tel: 044-8707796
Heather Park, George, 6510

scale: datum: date: sheet:
1:100 2/09/2004 1

WM/0109

dimensions, descriptions and quantities on this drawing to be verified on site before scanning material or commencing with work.

ANNEXURE “E” – SUBDIVISION PLAN DATED 11 NOVEMBER 1986

AANSOEK OM ONDERVERDELING KRAGTENS
ARTIKEL 24 VAN DIE ORDONNANSIE OP
GRONDGEBRUIKBEPLANNING NO. 15 VAN
1985

SKAAL/SCALE 1:1000

Daar word voorgestel om:

It is proposed to:

ERF 6605, GEORGE(blou omlyn),
GELEE IN DIE MUNISIPALITEIT EN
ADMINISTRATIEWE DISTRIK VAN
GEORGE AS VOLG ONDER TE VER-
DEEL:

GEDEELTE No. GROOTTE($\pm m^2$)

GEDEELTE A 1100
RESTANT 3405

SONERING: ENKELWOONSONE

Notas /Notes

n VUILRIOOLLYN SERWITUUT 2M WYD SAL GEREISTREER
WORD OOR GEDEELTE A TEN GUNSTE VAN DIE RESTANT

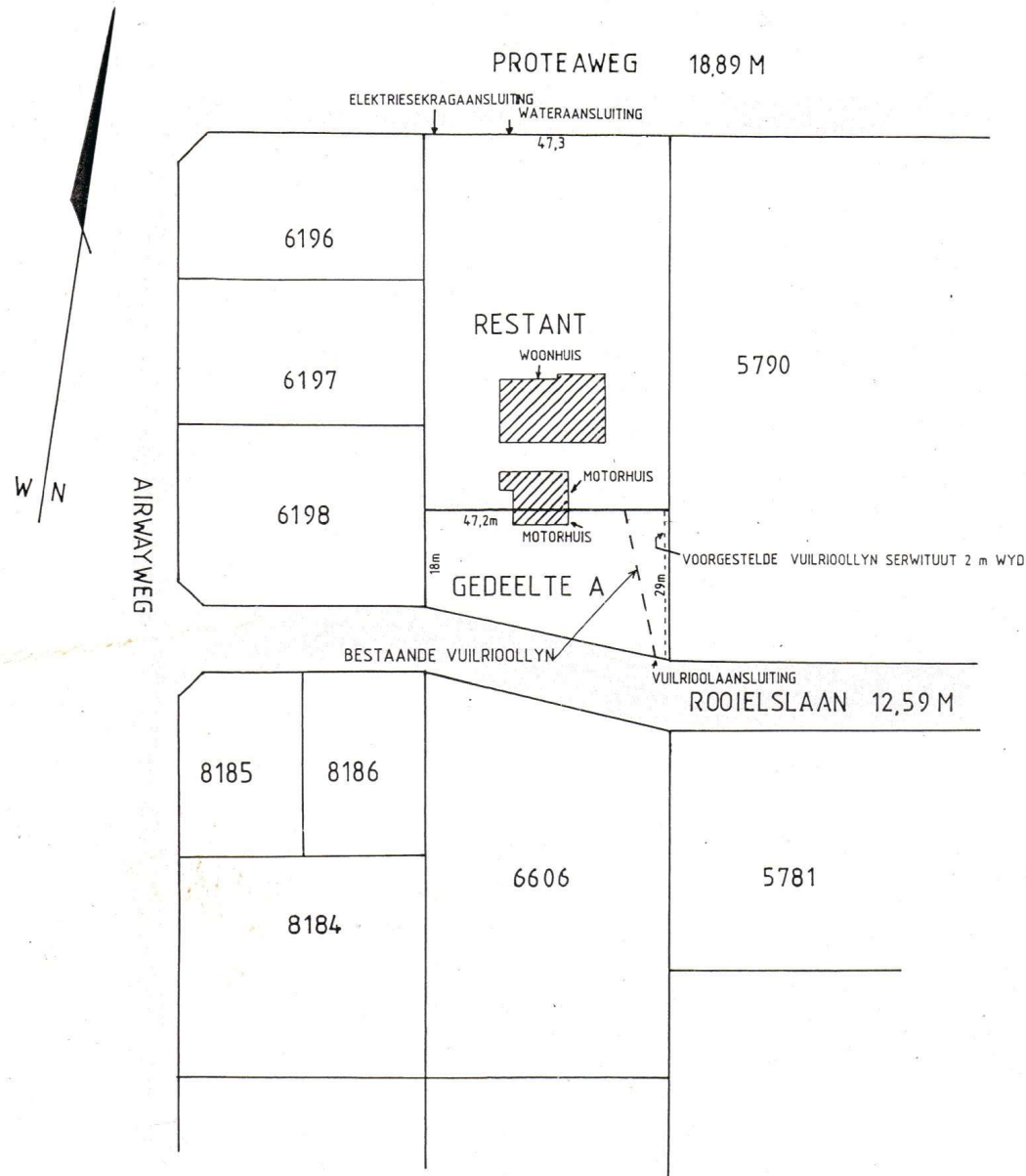
Saamgestel deur ons: / Prepared by us:
GOOSEN, CLOUGH & LOUW
LANDMETERS / LAND SURVEYORS

Posbus 60
P O Box 60
GEORGE

8 OKTOBER 1986
Datum / Date

A Louw
A LOUW
Landmeter /
Land Surveyor

File No. / Leër Nr. 68B / A1



GEORGE MUNISIPALITEIT

Hierdie onderverdeling is goed-
gekeur kragtens Artikel 25(1)
Ordonnansie 15 van 1985.



Erf 6605 B

ANNEXURE "F" - APPLICATION FORM



Application Form for Application(s) Submitted in terms of the Land Use Planning By-Law for George Municipality

NOTE: Please complete this form by using: Font: Calibri; Size: 11

PART A: APPLICANT DETAILS

First name(s)	Johannes George		
Surname	Vrolijk		
SACPLAN Reg No. (if applicable)	A/1386/2010		
Company name (if applicable)	Jan Vrolijk Town Planner / Stadsbeplanner		
Postal Address	P O Box 710		
	George	Postal Code	6530
Email	janvrolijk@jvtownplanner.co.za		
Tel	044 873 3011	Fax	086 510 4383
		Cell	082 464 7871

PART B: REGISTERED OWNER(S) DETAILS (if different from applicant)

Registered owner	Edrick Lodewikus Bruwer and Leonie Bruwer		
Address	14 Rooiels Avenue		
	George	Postal code	6529
E-mail	leoniebruwer@gmail.com		
Tel	N/a	Fax	N/a
		Cell	0727649616

PART C: PROPERTY DETAILS (in accordance with Title Deed)

Property Description [Erf / Erven / Portion(s) and Farm number(s), allotment area.]	Erf 13164 George
--	------------------

Physical Address	14 Rooiels Avenue									
GPS Coordinates					Town/City		George			
Current Zoning	Single Residential Zone I		Extent	1149m²		Are there existing buildings?		Y	N	
Current Land Use	Residential									
Title Deed number & date	T53889/2025									
Any restrictive conditions prohibiting application?	Y	N	If Yes, list condition number(s).							
Are the restrictive conditions in favour of a third party(ies)?	Y	N	If Yes, list the party(ies).							
Is the property encumbered by a bond?	Y	N	If Yes, list Bondholder(s)?		ABSA Bank					
Has the Municipality already decided on the application(s)?	Y	N	If yes, list reference number(s)?							
Any existing unauthorized buildings and/or land use on the subject property(ies)?				Y	N	If yes, is this application to legalize the building / land use?			Y	N
Are there any pending court case / order relating to the subject property(ies)?				Y	N	Are there any land claim(s) registered on the subject property(ies)?			Y	N
PART D: PRE-APPLICATION CONSULTATION										
Has there been any pre-application consultation?			Y	N	If Yes, please complete the information below and attach the minutes.					
Official's name	N/A		Reference number	N/A		Date of consultation		N/A		
PART E: LAND USE APPLICATIONS IN TERMS OF SECTION 15 OF THE LAND USE PLANNING BY-LAW FOR GEORGE MUNICIPALITY & APPLICATION FEES PAYABLE										
*Application fees that are paid to the Municipality are non-refundable and proof of payment of the application fees must accompany the application.										

BANKING DETAILS

Name: George Municipality
Bank: First National Bank (FNB)
Branch no.: 210554
Account no.: 62869623150
Type: Public Sector Cheque Account
Swift Code: FIRNZAJJ
VAT Registration Nr: 4630193664
E-MAIL: msbrits@george.gov.za
***Payment reference:** Erven ____, George/Wilderness/Hoekwil...

PART F: DETAILS OF PROPOSAL**Brief description of proposed development / intent of application:**

- **An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the following building lines on Erf 13164 George:**
 - **the northern rear boundary building line from 3.0 metres to 0.0 metres to allow for the legalization of the existing outbuilding and covered stoep which is to be converted into a non-interleading habitable outside room (bedroom/entertainment area).**
 - **the southern street boundary building line from 5.0 metres to 1.970 metres varying to 1.715 metres to allow for the legalization of the existing double garage.**
- **An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from development parameter (e)(i)(cc) of the land use description of a “dwelling house” as per the George Integrated Zoning Scheme By-law, 2023 to accommodate the existing outbuilding and covered stoep (to be converted into a non-interleading habitable outside room (bedroom/entertainment area)) with a total length of 15.280 metres located along the northern rear boundary of Erf 13164 George.**
- **An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from Section 45(4)(c) of the George Integrated Zoning Scheme Bylaw, 2023 to increase the maximum allowed width of the motor vehicle carriageway crossing from Rooiels Avenue to Erf 13164 George from 8.0 metres to 19.280 metres.**
- **An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from development parameter (e)(iii) applicable to a “dwelling house” as per the George Integrated Zoning Scheme By-law, 2023 to allow for the carport and double garage that is accessed perpendicular to the street boundary to be located 1.970 metres varying to 1.715 metres from the Rooiels Avenue street boundary of Erf 13164 George.**

PART G: ATTACHMENTS & SUPPORTING INFORMATION FOR LAND USE PLANNING APPLICATIONS

Please complete the following checklist and attach all the information relevant to the proposal. Failure to submit all information required will result in the application being deemed incomplete.

Is the following compulsory information attached?

Y	N	Completed application form	Y	N	Pre-application Checklist (where applicable)
----------	----------	----------------------------	----------	----------	--

Y	N	Power of Attorney / Owner's consent if applicant is not owner	Y	N	Bondholder's consent (no bond on property)
Y	N	Motivation report / letter	Y	N	Proof of payment of fees
Y	N	Full copy of the Title Deed	Y	N	S.G. noting sheet extract / Erf diagram / General Plan
Y	N	Locality Plan	Y	N	Site layout plan

Minimum and additional requirements:

Y	N	N/A	Conveyancer's Certificate	Y	N	N/A	Land Use Plan / Zoning plan
Y	N	N/A	Proposed Subdivision Plan (including street names and numbers)	Y	N	N/A	Phasing Plan
Y	N	N/A	Consolidation Plan	Y	N	N/A	Copy of original approval letter (if applicable)
Y	N	N/A	Site Development Plan	Y	N	N/A	Landscaping / Tree Plan
Y	N	N/A	Abutting owner's consent	Y	N	N/A	Home Owners' Association consent
Y	N	N/A	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) (strikethrough irrelevant)	Y	N	N/A	1 : 50 / 1:100 Flood line determination (plan / report)
Y	N	N/A	Services Report or indication of all municipal services / registered servitudes	Y	N	N/A	Required number of documentation copies
Y	N	N/A	Any additional documents or information required as listed in the pre-application consultation form / minutes	Y	N	N/A	Other (specify)

PART H: AUTHORISATION(S) IN TERMS OF OTHER LEGISLATION

Y	N/A	National Heritage Resources Act, 1999 (Act 25 of 1999)	Y	N/A	Specific Environmental Management Act(s) (SEMA)
Y	N/A	National Environmental Management Act, 1998 (Act 107 of 1998)			(e.g. Environmental Conservation Act, 1989 (Act 73 of 1989), National Environmental --
Y	N/A	Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)			Management: Air Quality Act, 2004 (Act 39 of 2004),
Y	N/A	Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)(SPLUMA)			National Environmental Integrated Coastal Management Act, 2008 (Act 24 of 2008),

Y	N/A	Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations			National Environmental Management: Waste Act, 2008 (Act 59 of 2008), National Water Act, 1998 (Act 36 of 1998) (strikethrough irrelevant)
Y	N/A	Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA)	Y	N/A	Other (specify)
Y	N	If required, has application for EIA / HIA / TIA / TIS / MHIA approval been made? If yes, attach documents / plans / proof of submission etc.			
Y	N	If required, do you want to follow an integrated application procedure in terms of section 44(1) of the Land-Use Planning By-law for George Municipality?			

SECTION I: DECLARATION

I hereby wish to confirm the following:

1. That the information contained in this application form and accompanying documentation is complete and correct.
2. The Municipality has not already decided on the application.
3. I'm aware that it is an offense in terms of section 86(1)(d) to supply particulars, information or answers in an application, knowing it to be false, incorrect or misleading or not believing them to be correct.
4. I am properly authorized to make this application on behalf of the owner and (where applicable) copies of such full relevant Powers of Attorney/Consent are attached hereto.
5. I have been appointed to submit this application on behalf of the owner and it is accepted that correspondence from and notifications by the Municipality in terms of the by-law will be sent only to me as the authorised agent and the owner will regularly consult with the agent in this regard (where applicable).
6. That this submission includes all necessary land use planning applications required to enable the development proposed herein.
7. I confirm that the relevant title deed(s) have been read and that there are no restrictive title deed restrictions, which impact on this application, or alternatively an application for removal/amendment/suspension forms part of this submission.
8. I am aware of the status of the existing bulk services and infrastructure in the subject area and that I am liable for any possible development charges which may be payable as a result of the proposed development.
9. I acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.

Applicant's signature:



Date:

5 August 2026

Full name:

Johannes George Vrolijk

Professional capacity:

Professional Town Planner

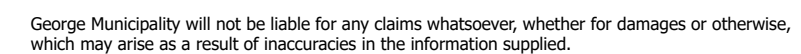
SACPLAN Reg. Nr:

A/1386/2010

ANNEXURE "G" – LOCALITY PLAN



Scale: 1:1,152



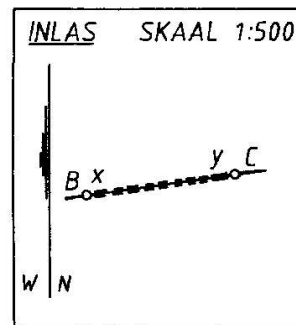
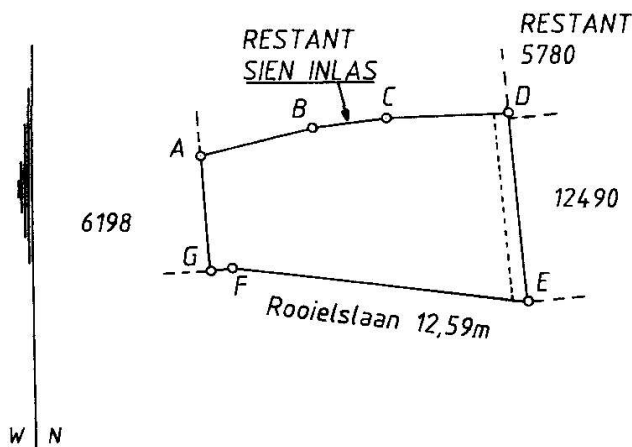
ANNEXURE “H” – SURVEYOR GENERAL DIAGRAM

SYE Meter		RIGTINGS HOEKE	KOÖRDINATE (ALLES PLUS) Y Stelsel Lo 23° X			L.G.Nr.
		Konstante	0,00 3 700 000,00			281-87
AB	17,63	256 19 10	A	53 147,80	58 542,66	Goedgekeur <i>[Signature]</i> nms Landmeter-generaal 1987-03-04
BC	11,36	262 40 40	B	53 130,67	58 538,49	
CD	18,46	268 08 00	C	53 119,40	58 537,04	
DE	29,00	353 35 30	D	53 100,94	58 536,44	
EF	45,24	96 25 20	E	53 097,71	58 565,26	
FG	3,15	83 35 30	F	53 142,67	58 560,20	
GA	18,00	173 37 10	G	53 145,80	58 560,55	

▲ Geo 1 46 649,50 55 980,19
▲ Oud 7 56 603,60 51 940,04

Bakenbeskrywing

A,B,C,D 16 mm ysterpen
E 20 mm ysterpen
F,G 12 mm ysterpen



1. Die lyn D E stel voor die oostelike grens van 'n vuilrioolserwituut 2 meter wyd.
2. x y stel voor 'n gemeenskaplike muur.

Skaal: 1 : 1 000

Die figuur A B C D E F G

stel voor 1 149 vierkante meter

grond, synde

Erf 13164 'n Gedeelte van Erf 6605, George

geleë in die Munisipaliteit en

Administratiewe Distrik George

Provinsie Kaap die Goeie Hoop

Opgermeet in Julie-Augustus 1985

deur ons, Januarie 1987

[Signature]

[Signature]

Landmeters

Hierdie kaart is geheg aan
Nr. T/A T 58301/87
gedateer
t.g.v.

Die oorspronklike kaart is
Nr. 10123/73 geheg aan
Transport/Grondbrief
Nr. T23135/74

Lêer Nr. S/8775/16/5
M.S. Nr. E 68/87
Komp. BL-7DD/W3 (1741)

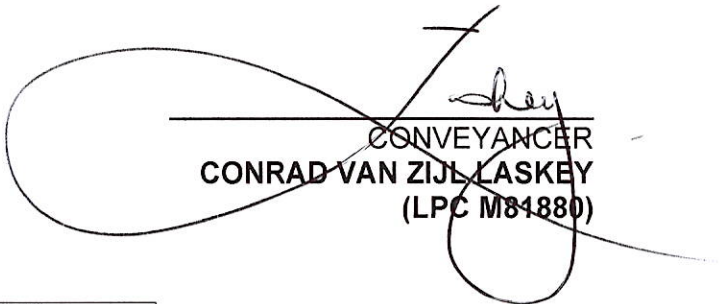
Registrateur van Aktes

ANNEXURE "I" – TITLE DEED

1144

Van Der Meer & Partners Inc
4 Durbanville Avenue Service Road
Valmary Park
Durbanville
Cape Town
Tel: (021) 979 2209

Prepared by me


CONVEYANCER
CONRAD VAN ZIJL LASKEY
(LPC M81880)

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R. 4 200 000,00	R. 2 767,00
Reason for Exemption	Category Exemption.....	Exemption i t o. Sec/Reg..... Act/Proc.....

VERBOD **WOL TOEGED**

FOR R. 3 200 000,00

000025757 / 2025

2025-08-28



T 000053389 / 2025

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

CONRAD VAN ZIJL LASKEY (LPC M81880)

MICHAEL PETRUS JANSE VAN RENSBURG
LPCM 83437

DATA / VERIFY

01 SEP 2025

Sinazo Xhiphu

appeared before me, the Registrar of Deeds: Western Cape at Cape Town, the said appearer, being duly authorised thereto by a power of attorney granted to him by

HENDRICK DU PLESSIS
Identity Number 740520 5052 08 1
and
KAREN DU PLESSIS
Identity Number 660325 0048 08 4
Married in community of property to each other

signed at GEORGE on 21 JULY 2025

DATA / CAPTURE

01 SEP 2025

Unathi Jongqo

And the said appearer declared that the Transferors had truly and legally sold the undermentioned property on 31 March 2025 by Private Treaty and that he/she in his/her capacity aforesaid, did by these presents, cede and transfer to and on behalf of

1. EDRICK LODEWIKUS BRUWER
Identity Number 770701 5036 08 3
Married out of Community of Property
2. LEONIE BRUWER
Identity Number 810722 0004 08 4
Married out of Community of Property

their heirs, executors, administrators or assigns, in full and free property

ERF 13164 GEORGE, IN THE MUNICIPALITY AND DIVISION OF GEORGE,
PROVINCE OF THE WESTERN CAPE

IN EXTENT 1149 (ONE THOUSAND ONE HUNDRED AND FORTY NINE) SQUARE
METRES

FIRST TRANSFERRED BY DEED OF TRANSFER NUMBER T58301/1987 WITH
DIAGRAM SG NUMBER 281/87 ANNEXED THERETO AND HELD BY DEED OF
TRANSFER T62388/2012

A. ✓

- B. SUBJECT FURTHER to the following condition contained in Deed of Transfer Number T10413/1994, namely:

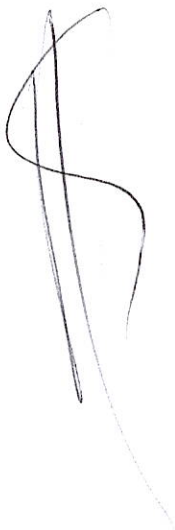
"That the Council of the Municipality of George and its successors in title reserve the right to construct, use and maintain across the above property any pipeline for water leading, sewerage or drainage and any poles and structures for the conduct of any electric or other light or power."

- C. SUBJECT FURTHER to the following conditions contained in Deed of Transfer Number T23135/1974 imposed by the Administrator of the Cape of Good Hope in terms of Section 9 of Ordinance No 33 of 1934 when approving the subdivision of Erf 583 George, that reads as follows: -

- (a) Die eienaar van hierdie erf is verplig om sonder betaling van vergoeding toe te laat dat elektrisiteitskabels en of -drade, hoof- en ander waterpype en die rioolvuil en dreinerings, insluitende stormwater van enige ander erf of erwe, oor hierdie erf gevoer word indien dit deur die plaaslike owerheid nodig geag word, en wel op die wyse en plek wat van tyd tot tyd redelikerwys vereis word. Dit sluit die reg op toegang te alle redelike tye tot die eiendom in met die doel om enige werke met betrekking tot bogenoemde aan te lê, te wysig, te verwyder of te inspekteer.



- (b) Die eienaar van hierdie erf is verplig om sonder vergoeding op die erf die materiaal te ontvang of uitgrawings op die erf toe te laat al na vereis word, sodat die volle breedte van die straat gebruik kan word en die wal veilig en behoorlik skuins gemaak kan word omrede van die verskil tussen die hoogte van die straat soos finaal aangelê en die erf tensy hy verkies om steunmure te bou tot genoeg van en binne 'n tydperk wat die plaaslike owerheid bepaal. ✓



WHEREFORE the appearer, renouncing all the rights and title the said

HENDRICK DU PLESSIS and KAREN DU PLESSIS, Married to each other as aforesaid

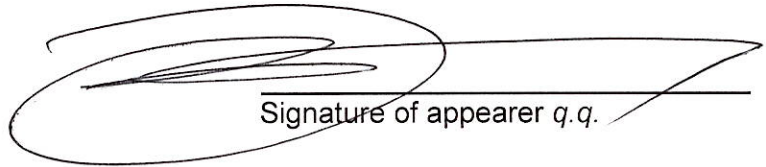
heretofore had to the premises, did, in consequence also acknowledge them to be entirely dispossessed of, and disentitled to, the same; and that, by virtue of these presents, the said

1. EDRICK LODEWIKUS BRUWER, Married as aforesaid
2. LEONIE BRUWER, Married as aforesaid

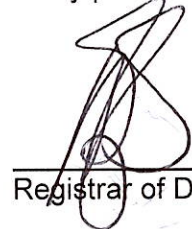
their heirs, executors, administrators or assigns, now are and henceforth shall be entitled thereto, conformably to local customs; the State, however, reserving its rights, and finally acknowledging that the purchase price is the amount of R4 200 000,00 (Four Million Two Hundred Thousand Rand).

IN WITNESS WHEREOF I, the said Registrar, together with the appearer, have subscribed to these presents, and have caused the seal of office to be affixed thereto.

THUS DONE AND EXECUTED at the Office of the Registrar of Deeds: Western Cape at Cape Town on 28 August 2025.


Signature of appearer q.q.

In my presence


Registrar of Deeds

ANNEXURE “J” – POWER OF ATTORNEY

POWER OF ATTORNEY

We, the undersigned

Edrick Lodewikus Bruwer (ID Number 7707015036083)

Leonie Bruwer (ID Number 8107220004084)

the registered owners of

Erf 13164 George

do hereby appoint Jan Vrolijk Town Planner/Stadsbeplanner to prepare, sign and submit the following application to the George Municipality:

- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the following building lines on Erf 13164 George:
 - the northern rear boundary building line from 3.0 metres to 0.0 metres to allow for the legalization of the existing outbuilding and covered stoep.
 - the southern street boundary building line from 5.0 metres to 1.970 metres varying to 1.715 metres to allow for the legalization of the existing double garage.
- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from development parameter (e)(i)(cc) of the land use description of a "dwelling house" as per the George Integrated Zoning Scheme By-law, 2023 to accommodate the existing outbuilding and covered stoep with a total length of 15.280 metres located along the northern rear boundary of Erf 13164 George.
- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from Section 45(4)(c) of the George Integrated Zoning Scheme Bylaw, 2023 to increase the maximum allowed width of the motor vehicle carriageway crossing from Rooiels Avenue to Erf 13164 George from 8.0 metres to 19.280 metres.



- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from development parameter (e)(iii) applicable to a “dwelling house” as per the George Integrated Zoning Scheme By-law, 2023 to allow for the carport and double garage that is accessed perpendicular to the street boundary to be located 1.970 metres varying to 1.715 metres from the Rooiels Avenue street boundary of Erf 13164 George.

Signed at George on 3 June 2026

Edrick Lodewikus Bruwer



Leonie Bruwer



ANNEXURE "K" – BONDHOLDERS CONSENT



Home Loans
Sales and Service Enablement

9 Lothbury Road
Auckland Park, 2092
Private Bag 72007
Cresta, 2118
South Africa

T 0860 111 007
Swift address: ABSAZAJJ
absa.co.za

11.03.2026

Private/Confidential

BRUWER MR EL & MRS L
61A CRADOCK STREET
GEORGE SOUTH
6529

Dear Sir / Madam

REQUEST RECEIVED FOR: DEPARTURE & RELAXATION OF BUILDING LINE/S

Mortgage loan account number: 8097656446

Property description: ERF 13164 GEORGE

We refer to the above account and grant consent to the Departure and relaxation of building lines, over the above-mentioned property.

According to your mortgage loan agreement it is your responsibility to ensure that you have sufficient insurance in place.

If you are insured under Absa, our insurance division's contact number is 0860 100 876.

Kindly take note that the consent letter is valid for one year only.

Yours faithfully

A handwritten signature in black ink, appearing to read "Nadine Heathcote".

Property Control Department
Our ref: Nadine Heathcote
Tel: 011 846 5471
Email: hlpc@absa.co.za

ANNEXURE “L” - CONVEYANCER CERTIFICATE

CONVEYANCER'S CERTIFICATE

IN TERMS OF SECTION 38(1)(n) OF THE GEORGE MUNICIPALITY: LAND USE PLANNING BY LAW, 2023

ERF 13164 GEORGE

APPLICATION DETAILS

- An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure for the relaxation of the following building lines on Erf 13164 George:
 - the northern rear boundary building line from 3.0 metres to 0.0 metres to allow for the legalization of the existing outbuilding and covered stoep.
 - the southern street boundary building line from 5.0 metres to 1.970 metres varying to 1.715 metres to allow for the legalization of the existing double garage.
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street boundary to be located 1.970 metres varying to 1.715 metres from the Rooiels Avenue street boundary of Erf 13164 George.

APPLICATION DATE

May 2026

I, the undersigned

ANDALEEN CHIMES a duly qualified and admitted Conveyancer, practicing at A Chimes & Van Wyk Attorneys, Cathedral Street, George do hereby certify as follows:

1. I have perused the following title Deed/s and conducted a search behind the pivot of the said title deed/s at the Deeds Office, Cape Town:

T53389/2025 (current Title Deed)

in respect of:

**ERF 13164 GEORGE
IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE**

IN EXTENT: 1 149 (ONE ONE FOUR NINE) SQUARE METRES

HELD BY DEED OF TRANSFER NUMBER T53389/2025

REGISTERED in the name of

EDRICK LODEWIKUS BRUWER AND LEONIE BRUWER

2. I have appraised myself with the details of the abovementioned Land Development Application.
3. The abovementioned Title Deed contains no conditions restricting the contemplated Land Use in terms of the abovementioned Land Development Application.

4. There is a bond registered over the property.

SIGNED at GEORGE on 28 May 2026

A handwritten signature in black ink, appearing to be 'P. J. S.', written in a cursive style.

CONVEYANCER