

Collaborator No.: 3875090
Reference / Verwysing: Erf 1581, Hoekwil
Date / Datum: 25 September 2026
Enquiries / Navrae: Petro Botha

Jan Vrolijk Town Planner
P O Box 710
George
6530

Attention: Jan Vrolijk

Email: janvrolijk@jvtownplanner.co.za

APPLICATION FOR PERMANENT DEPARTURE ON ERF 1581, HOEKWIL

Your application in the above regard refers.

The Senior Manager: Town Planning (Authorised Official) has, under delegated authority, 4.17.3.13 of 24 April 2025 decided:

That the application for a Permanent Departure in terms of Section 15(2)(b) of the Land Use Planning By-law for George Municipality, 2023 for the relaxation of the southern street boundary building line from 30m to a distance varying between 11.3m to 10m to allow for the existing dwelling house on Erf 1581, Hoekwil;

BE APPROVED in terms of Section 60 of said Bylaw for the following reasons:

REASONS

- (i) The departures will not negatively impact the surrounding rural character of the area, streetscape or natural environment, as all structures are existing and no further development are proposed.
- (ii) The proposed departures will not negatively affect the rights of the adjacent property owners in terms of sunlight, views or privacy.
- (iii) The proposed departures will not have a negative impact on developments, public facilities or traffic circulation in the surrounding area.
- (iv) No negative comments or objections were received during the public participation process.

Subject to the following conditions imposed in terms of Section 66 of said By-law, namely:

CONDITIONS

- 1. That in terms of the provisions of the Land Use Planning By-law for the George Municipality 2023, the approval shall lapse if not implemented within two (2) years from the date the approval comes into operation.
- 2. This approval shall be taken to cover only the departure application as applied for and as indicated on the site layout plan, project no: UW-0283, drawing no. 1 (dated 4 November 2025) and no. 2, 7 & 3 (dated 28 June 2021) drawn by Krauze Architectural Design attached as "Annexure A" which bears Council's stamp and shall not be construed as to depart from any other Council requirements or legal provisions.

3. The above approval will be considered as implemented on the issuing of the occupation certificate in accordance with the approved building plans.

Notes:

- i. *As-built building plans must be submitted for approval in accordance with the National Building Regulations.*
- ii. *Applicant must show all existing structures on site when submitting Building Plans for approval.*
- iii. *The applicant must comply with the National Forestry Act, Act No 84 of 1998, should it be required.*
- iv. *Should the owner require/intend any amendment, modification, or addition to the approved access arrangement be required, such amendments would require prior written approval from the Road Authority.*
- v. *This is a rural area and there are Medium Voltage electricity overhead lines close to the property. All safety clearances to be maintained from overlines as required by the OHS act.*
- vi. *The owner is reminded that the property is subject to the Outeniqua Sensitive Coastal Areas Regulation and therefore the following Environmental Controls must be implemented:*
 - a. *The owner must apply for an OSCA/E permit prior to undertaking any future activity that require removal of vegetation or disturbance of soil.*
 - b. *Any surfacing of the internal access road must be permeable such as erosion control paver or grass blocks; impervious materials are not permitted.*
 - c. *Stormwater must be managed so that concentrated runoff does not cause erosion or damage to the surrounding natural vegetation.*
 - d. *The owner is encouraged to apply Sustainable Urban Drainage Systems (SUDS) to manage runoff, including measures such as rainwater harvesting, vegetated swales, and infiltration trenches.*
 - e. *Any erosion must be addressed immediately. Eroded areas must be stabilised and rehabilitated using appropriate indigenous vegetation and erosion-control measures.*
 - f. *All exterior structures and retaining walls must complement the surrounding environment. Natural materials such as wood should be prioritised where feasible. In cases where brick and cement are used, paint tones that complement the surrounding thicket and forest are required.*
 - g. *Roofs should be finished in natural tones, preferably dark greens, greys, or neutral shades that blend with the surrounding fynbos and thicket.*
 - h. *All outdoor lighting must be designed to minimise disturbance to nocturnal wildlife and neighbouring properties. Lights must be downward-oriented, shielded, and use warm-coloured bulbs.*
 - i. *Lighting should be limited to essential areas such as pathways, entrances, and driveways, and should be switched off when not required, using timers or smart controls where possible.*
 - j. *Only locally indigenous vegetation may be used for landscaping and the rehabilitation of disturbed areas.*
 - k. *Ornamental landscaping may not extend into retained natural vegetation outside the development footprint.*
 - l. *Lawn areas, where proposed, must be limited to discrete areas within the already disturbed portion of the property and may not result in additional clearing of natural vegetation.*
 - m. *Faunal pathways must not be obstructed by impermeable walls or fencing, to allow for free movement of wildlife.*
 - n. *The planting of Kikuyu grass (*Pennisetum clandestinum*) is prohibited.*
 - o. *Firebreaks, if required, must comply with Southern Cape Fire Protection Association recommendations; clearance outside specifications requires OSCAE authorisation.*
 - nn. *The eradication and control of alien invasive vegetation on the property must comply with requirements of the National Environmental Management: Biodiversity Act, 2004 (Act No. 10 Of 2004) Alien and Invasive Species Regulations.*
 - oo. *The owner is reminded of the Duty of Care under Section 28 of NEMA to prevent environmental degradation and to remediate any damage.*

You have the right to appeal to the Appeal Authority against the decision of the Authorised Employee in terms of Section 79(2) of the Land Use Planning By-Law for George Municipality, 2023.

A detailed motivated appeal with reasons should be directed to the Appeal Authority and received by the Director: Planning and Development, P O Box 19, George, 6530 or Directorate: Planning and Development, 46 Market Street (Old York Hostel Building), George **on or before 16 October 2026**, and simultaneously submit a

copy of the appeal on any person who commented, made representations or objected to the application in the above regard. Please also note that the appeal must be e-mailed to the administrative officer mentioned above.

An appeal that is not lodged within the applicable period mentioned above or that does not comply with Section 79 of the Land Use Planning By-Law for George Municipality, 2023, will be deemed invalid in terms of Section 80 of said By-Law.

Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

Please also note that in terms of Section 80(14) of the Land Use Planning By-Law for George Municipality, 2023, the above decision is suspended until such time as the period for lodging an/appeal(s) has lapsed, any appeal(s) has been finalised and you have been advised accordingly.

Yours faithfully,



C PETERSEN

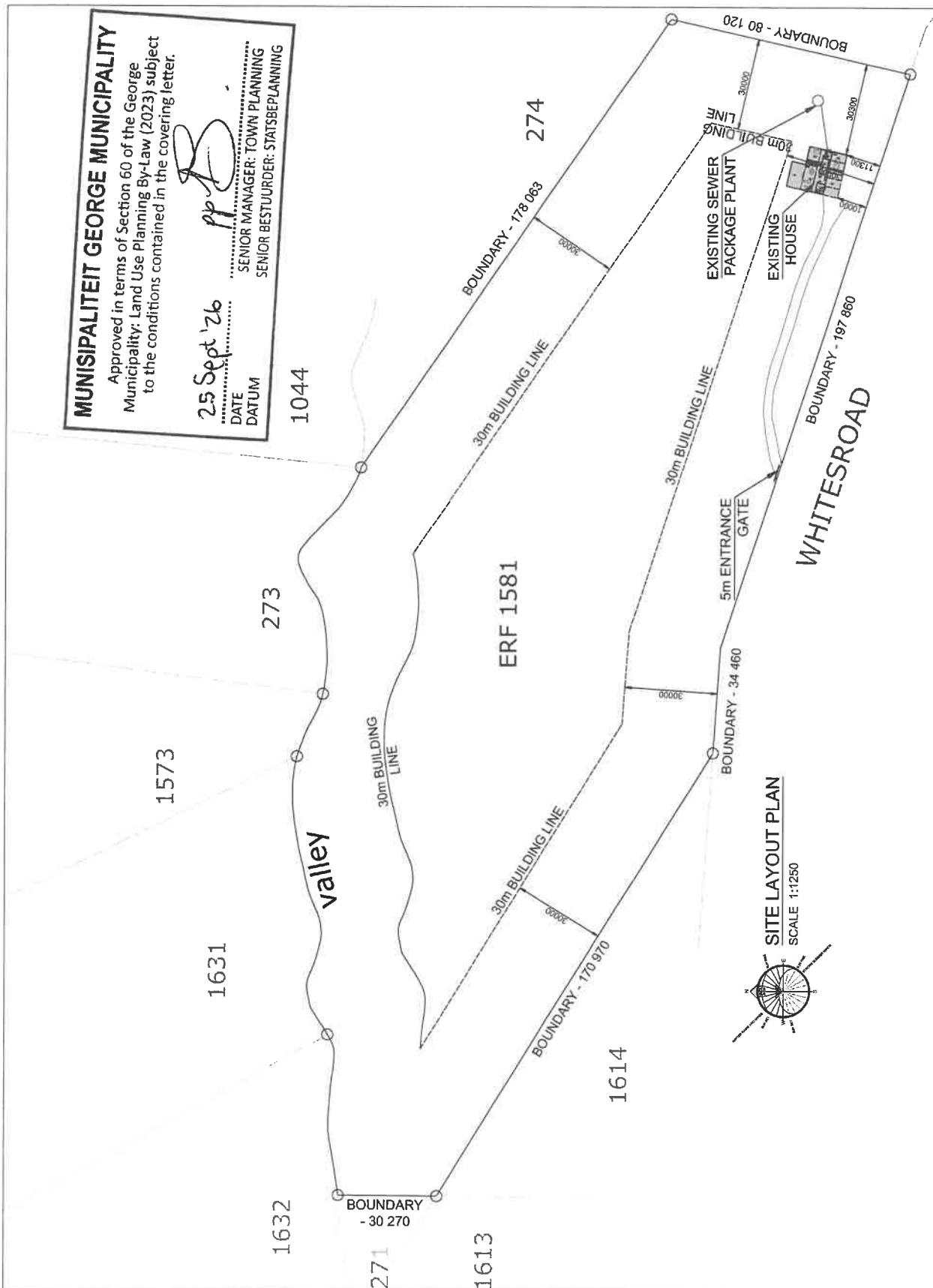
SENIOR MANAGER: TOWN PLANNING

https://georgemun-my.sharepoint.com/personal/pbotha_george_gov_za/Documents/LAND USE MANAGEMENT/DECISIONS/2026/SEPTEMBER/Myne/Erf 1581, Hoekwil_approval letter Delia.docx

Approved in terms of Section 60 of the George Municipality: Land Use Planning By-Law (2023) subject to the conditions contained in the covering letter.

DATE
ATUM

SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STATSBEPANNING



1. The design on this drawing is copyright and remains the property of the Architectural Draughtsman

- | | |
|---|---|
| <p>The design on this drawing is copyright and remains the property of Architectural Drawings.</p> <p>All work is to be done out in strict accordance with the National Building regulations as well as the National Hygiene and Sanitation regulations for buildings and its contents.</p> <p>Figured dimensions are to be used in preference to verbal dimensions.</p> <p>All dimensions, levels and notes to be written on this plan, refer to the commencement of any work, unless otherwise stated. Any discrepancies are to be noted and reported to the Architect immediately.</p> <p>All materials, specified are to be used and / or applied in strict accordance with manufacturer's specifications and recommendations.</p> <p>All plumbing and other fittings to be a registered plumber's work.</p> <p>Minimum ground cover for all slopes to be min. 200mm.</p> | <p>All electrical work to be done by a registered electrician, and to comply with the latest edition of the SABS code of practice.</p> <p>All wiring in work to be concealed behind walls, floors and/or ceilings.</p> <p>Electrical cables to be protected.</p> <p>Electrical switches to be on the outside of the wall.</p> <p>Electrical outlets to be based on convenient of use.</p> |
|---|---|

AREA:

EXISTING HOUSE -220.7m²

TOTALE - 220.7m²

SITE - 4.0437ha

% COVERED - 0.54%

DRAWING TYPE:

CONCEPT DRAWINGS FOR SUBMISSION FOR CONSTRUCTION

CVI

KRAUZE ARCHITECTURAL DESIGN
Registered: SA Council for the Architectural Profession

WALDO KRAUZE

Cell: 0723854428 | Email: waldo@krazd.co.za



werner/s

architectural draughtsman

Project	signatures
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EXISTING STRUC. FOR:

P. Visser

G. J. Visser

Ref 1581/274

Whites road

toekwil

DRAWING:

1: SITE LAYOUT PLAN

2

1:1250

4-Nov-25

checked by W KRAUZE (Reg. PAD13011807)

WIKALIZACJA

W KRAUZE (Reg. PAD13911807)

project no.	drawing no.	revision
101	0000	1

- General notes**
- The design on this drawing is copyright and remains the property of the Architectural Draughtsman.
 - All work is to be carried out in strict accordance with the National Building Regulations as well as Municipal by-laws and conditions.
 - Figured dimensions are to be used in preference to unfigured dimensions.
 - All dimensions, levels and details to be verified on site prior to the commencement of any work.
 - Discrepancies are to be reported to the Architect immediately.
 - All materials, specified are to be used and / or approved by the Architect.
 - All plumbing and drain laying to be by a registered plumber. All pipes to have access for cleaning and inspection purposes. Minimum ground cover for all pipes to be min. 300mm.
 - All electrical work to be done by a registered electrician. All wiring to be in accordance with the latest edition of the SABS Code of Practice for Electrical Wiring.
 - Electrical certification to be issued on completion of unit.

FLOOR AREA:
 EXISTING HOUSE - 220.7m²
 TOTAL - 220.7m²
 SITE - 4,043.7m²
 % COVERED - 0.54%

REVISIONS	No.	Description	By	Date
WYSKINGS				

Registered Architect for the Cape Province
 Reg. No. PA043911807



Wakko Krausz
 Cell : 072 385 4428
 Email: wakko@wakkodraughtsman.co.za

signatures

owner/s
 architectural draughtsman

Project

As Built for:

P. Visser
 G. J. Visser
 Erf 1581/274
 Whites road
 Hoekwil

Drawing

02 : Plan Layout

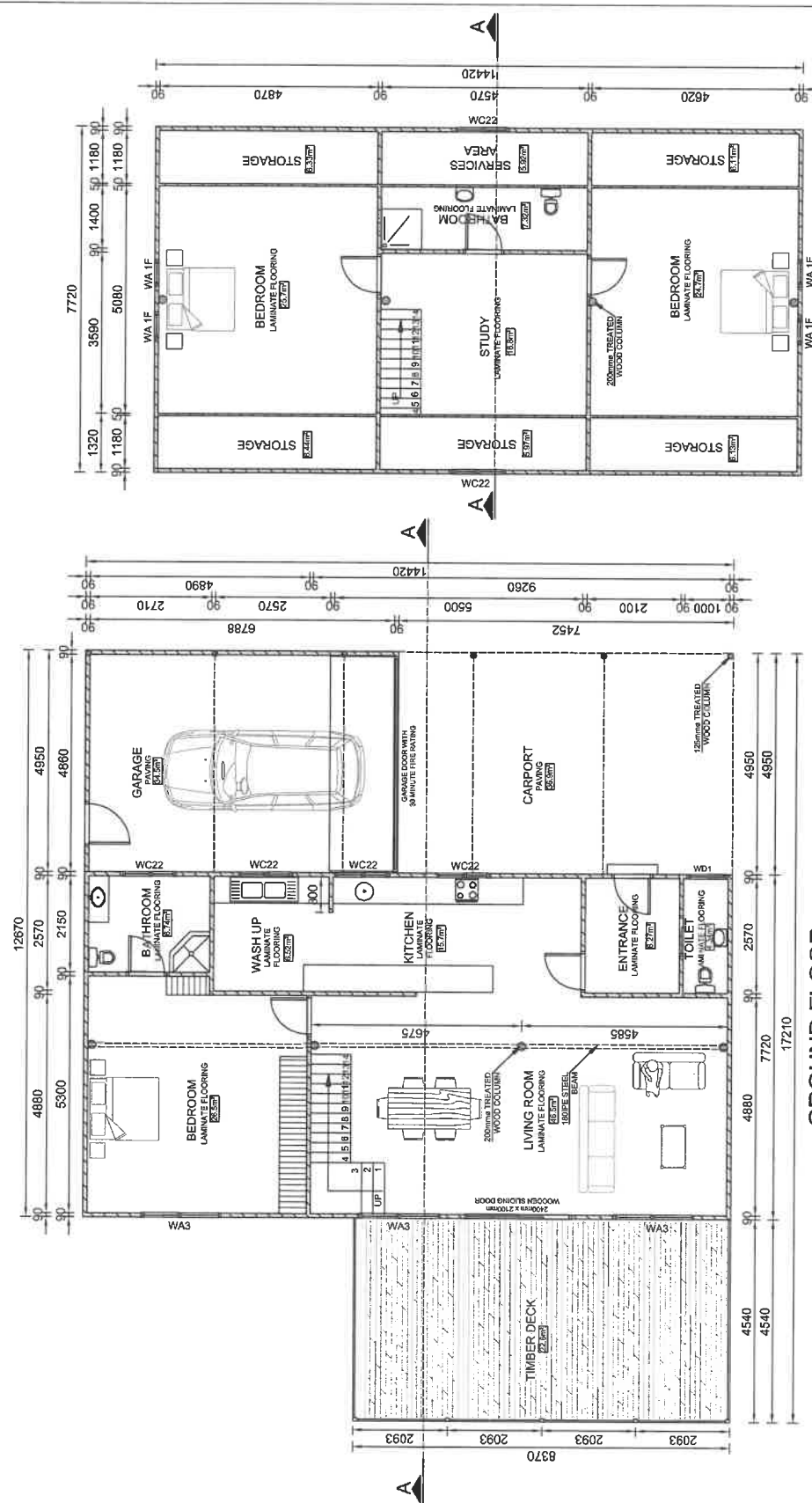
A3

scale 1:100

date 28 Jun 2021

drawn WK

drawing no. UW - 0283 02 00



GROUND FLOOR

FIRST FLOOR

MUNICIPALITEIT GEORGE MUNICIPALITY

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25 Sept '26

DATE

PP

XA ROOF INSULATION (R-VALUE)	
ROOF COVERING	0.30
CEILING	0.05
INSULATION	3.35
TOTAL	3.7
MINIMUM REQUIRED	3.5
XA COMPLIANT	

General notes

1. The design on this drawing is complete and final. It is to be used for the construction of the building.
2. All work to be done shall be in accordance with the National Building Regulations as well as the Municipal By-laws and conditions.
3. Figure dimensions are to be used in preference to text dimensions. Dimensions are given in millimetres unless otherwise stated. All dimensions take precedence over area calculations.
4. All dimensions, levels and details to be verified on site, prior to the commencement of any work. If any discrepancy is found, the contractor shall be responsible for the necessary changes.
5. All materials specified are to be used and / or approved in accordance with manufacturer's specifications.
6. All drawings and details to be in accordance with the National Building Regulations.
7. All electrical work to be done by a registered electrician. All wiring to run in conduits chased into walls, floors, ceilings or other suitable locations. Any changes to be made to the design shall be approved by the Architect.

FLOOR AREA:
EXISTING HOUSE - 220.7m²

TOTAL - 220.7m²

SITE - 4 0437ha

% COVERED - 0.54%

REVISIONS		WYSIGNS
No.	Description	Revising

Registered Architect for the Architectural Profession
Reg. No. PAD43911807



Waldo Krause
Cell: 072 385 4428
Email: waldokrause@gmail.com

signatures

owners

architectural draughtsman

Project

As Built for:

P. Visser
G. J. Visser
Erff 1581/27/4
Whites road
Hoekwil

Drawing

07 : Elevations Layout

A3

scale 1:150

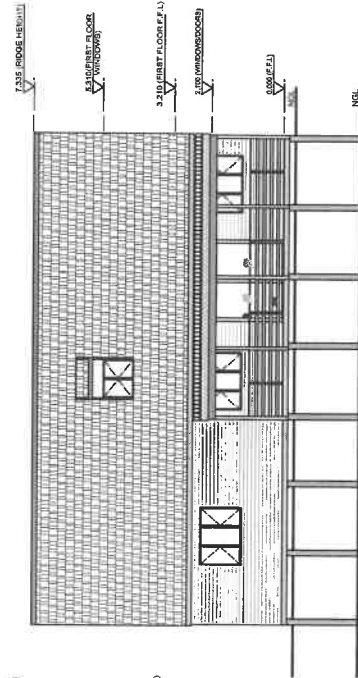
date 28 Jun 2021

drawn WK

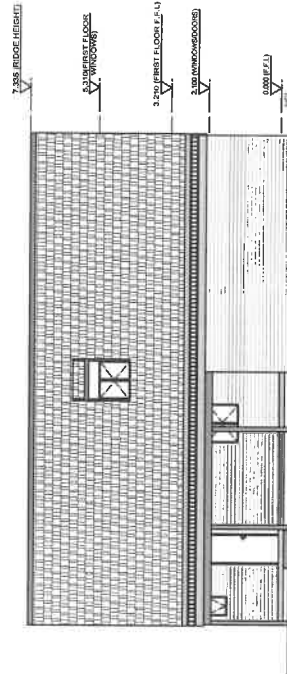
checked by no.

revision 07

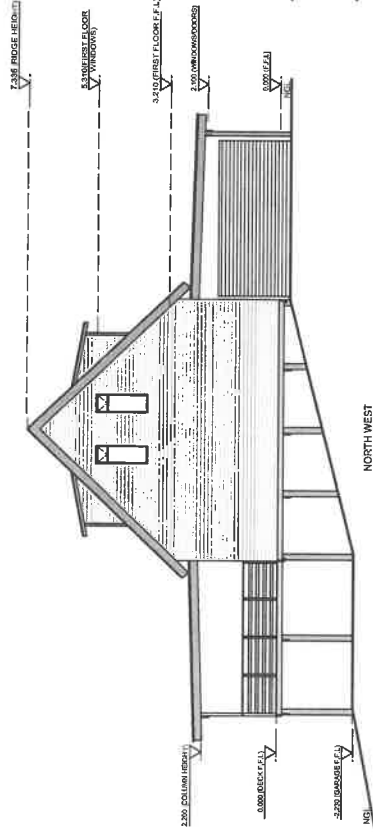
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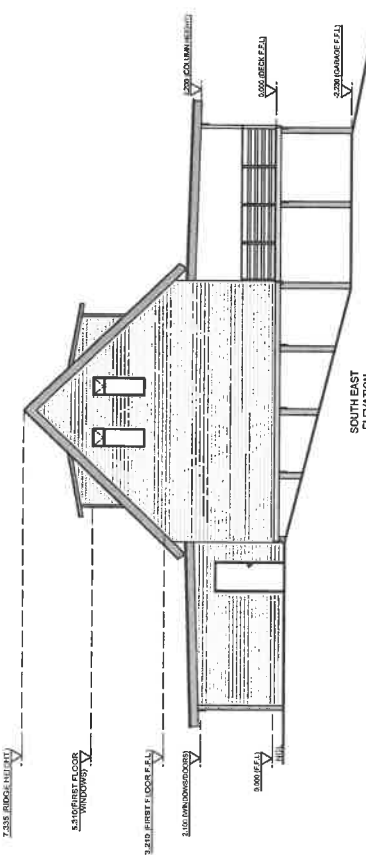
NORTH EAST
ELEVATION



SOUTH WEST
ELEVATION



NORTH WEST
ELEVATION



SOUTH EAST
ELEVATION

MUNICIPALITEIT GEORGE MUNICIPALITY

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Municipality Land Use Planning By-Law (2023) subject
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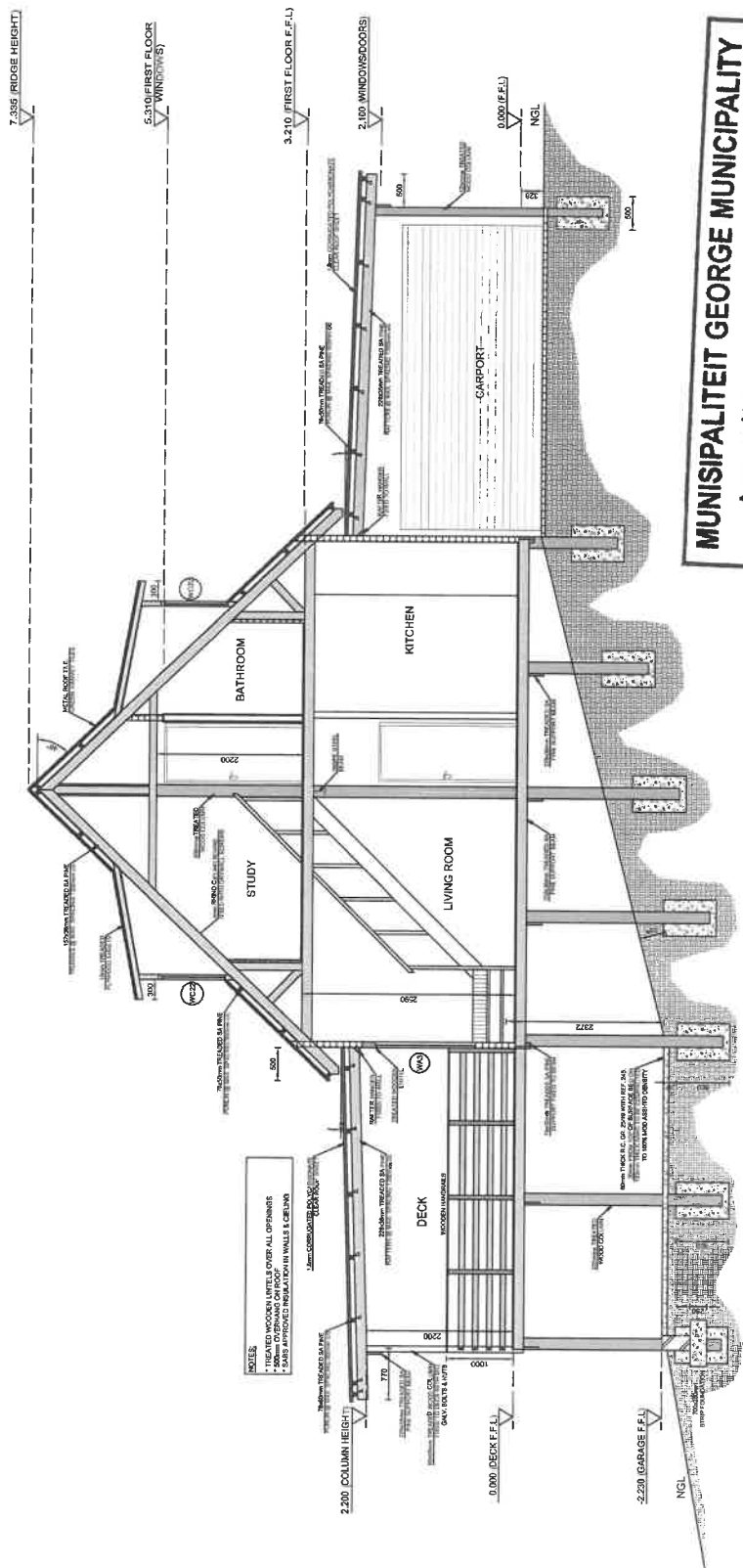
25 Sept '26

DATE
DATUM

pp
SENIOR MANAGER: TOWN PLANNING
SENIOR BESTUURDER: STATSBEPANNING

Approved in terms of Section 60 of the George
municipality: Land Use Planning By-Law (2023) subject
to the conditions contained in the covering letter.

25 Spt '26 pp
DATE SENIOR MANAGER: TOWN PLANNING
DATUM SENIOR BESTUURDER: STATISBEPLANNING



SECTION A-A

General notes

General notes

1. The design of this drawing is copyright and remains the property of the Architectural Draughtmen and Surveyors Association of South Africa.
2. All work to be started, set in, altered or finished in accordance with the National Building Regulations as well as the applicable by-laws and other applicable municipal by-laws and conditions.
3. Piped dimensions are to be used in preference to un-piped dimensions.
4. All dimensions, levels and details to be verified on site prior to the commencement of any work. Any discrepancy between the drawing and the actual conditions are to be reported to the draughtsman immediately.
5. All materials, specified are to be used and / or specified in accordance with manufacturer's application and recommendations.
6. All plumbing and drain laying to be by a registered plumber in accordance with the SANS 10400 Part 2. Minimum ground level for all points to be at least 200mm.
7. All electrical work to be done by a registered electrician. All wiring to be in accordance with the applicable regulations. Electrical installation must be based on consultation of, and in accordance with, the relevant authorities.

FLOOR AREA:
EXISTING HOUSE - 220.7 m²

TOTALE - 220.7m²

SITE - 4.0437ha

% COVERED - 0.54%

[illegible]

Reg. No. PAD43911807

Waldo Krauze

Cell : 072 385 4428

Email: wa12kr@gmail.com

signatures

owner/s.

architectural draughtsman

Project

As Built for:

P. Visser

G. J. Visser

G. J. Visser
Erf 1581/274

Hoekwil

Drawing

03 : Section Layout

A3

scale

State	Year	Rate
Alabama	1990	10.0
Alabama	1991	10.0
Alabama	1992	10.0
Alabama	1993	10.0
Alabama	1994	10.0
Alabama	1995	10.0
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Alabama	2104	10.0
Alabama	2105	10.0
Alabama	2106	10.0
Alabama	2107	10.0
Alabama	2108	10.0
Alabama		

drawn

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02

02

02

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