



The Municipal Manager
P O Box 19
George
6530

Reference: Erf 2023 Wilderness

11 August 2026

Sir

APPLICATION FOR PERMANENT DEPARTURE (CONDITIONS OF APPROVAL): ERF 2023 WILDERNESS (CONSTANTIA KLOOF)

Attached hereto please find an application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the conditions of approval for Constantia Kloof in respect of building materials of the existing dwelling house on Erf 2023 Wilderness.

Your prompt consideration of the application will be appreciated.

Thanking you in anticipation.

Jan Vrolijk

MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURE (CONDITIONS OF APPROVAL)
ERF 2023 WILDERNESS (CONSTANTIA KLOOF)

11 August 2026



Prepared for:

Deon Christo Smit
2023 Kooboo Berry Close
Constantia Kloof
Wilderness
6560

Prepared by:

Jan Vrolijk Town Planner/Stadsbeplanner
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George
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South-Africa
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Fax: 086 510 4383
SACPLAN Registration No A/1386/2011

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MOTIVATION REPORT
APPLICATION FOR PERMANENT DEPARTURE (CONDITIONS OF APPROVAL)
ERF 2023 WILDERNESS (CONSTANTIA KLOOF)

1. APPLICATION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the original conditions of approval for Farm 158 known as Constantia Kloof, with specific reference to Condition 4.2 of the approval dated 25 November 1996 to allow for the construction of a concrete and painted dwelling house on Erf 2023, Wilderness.

The architect's 3D renderings of the proposed amended elevations of the dwelling house are attached hereto as **Annexure "A"**.

The completed application form for the permanent departure (conditions of approval) is attached hereto as **Annexure "B"**.

2. DEVELOPMENT PROPOSAL

Erf 2023 Wilderness is situated in Constantia Kloof, Wilderness. The design of dwelling houses in Constantia Kloof is restricted to certain building materials as per the original Constantia Kloof development approval on Farm 158 with specific reference to Condition 4.2 which reads as follows:

"That all exterior finishes of buildings and boundary wall/fences be constructed of clinker brick (face brick) and/or timber logs and that all roofs be of a green, brown or black colour."

Since the original Constantia Kloof development approval, George Municipality has granted approval to depart from Condition 4.2 in various cases in Constantia Kloof to enable modernizing the elevations of subsequent dwelling houses by means of more modern building materials, including concrete, iron sheets for cladding and grey colors.

The building plan in respect of the existing dwelling house on Erf 2023 Wilderness, which was approved on 16 March 2022, indicated that the exterior finishes of the new dwelling house conformed with the mentioned stipulations relating to building materials as per the original Constantia Kloof approval. A copy of the approved site plan and building plan dated 16 March 2022 is attached hereto as **Annexure “C”**.

After the approval of the building plan in respect of the new dwelling house on the application erf, the owner decided to modernize the elevations of the dwelling house by using the more modern building materials recently allowed in Constantia Kloof. The dwelling house was therefore (without authorization) constructed from concrete and will be painted a grey colour.

The approved floor plans of the dwelling house have, however, remained unaltered.

The following photo shows the north elevation of the current building.



The following photo, which was taken eastwards from the parking area on Erf 2034 Wilderness, shows the west elevation of the dwelling house on the application erf, on the left side of the photo.



A departure is therefore required from the original conditions of approval for Constantia Kloof, to allow the use of concrete and to paint the proposed dwelling house with a grey colour, as indicated in the following 3D renderings, copies of which are also attached hereto as **Annexure “A”**.



The dwelling house, as constructed, complies with the development parameters applicable to a “dwelling house” stipulated in Schedule 2 of the George Integrated Zoning Scheme By-law, 2023.

3. PRE-APPLICATION CONSULTATION

A pre-application consultation was not requested as the proposal entails an application for permanent departure (conditions of approval). This is in line with the e-mailed directive in this regard to various consultants by the Municipal Town Planners, which was issued by e-mail dated 10 May 2022.

4. GENERAL INFORMATION REGARDING ERF 2023 WILDERNESS

4.1 Locality

Erf 2023 Wilderness is situated in Constantia Kloof which is directly north of the CBD of Wilderness. Wilderness is located approximately 20 kilometers east of George. The locality of the erf is indicated on the locality plan which is attached hereto as **Annexure “D”**.

4.2 Existing land use

The application erf is currently developed with a dwelling house.

4.3 Extent of erf

Erf 2023 Wilderness, Constantia Kloof is 1 707m² in extent.

4.4 Existing zoning

In terms of the George Integrated Zoning Scheme By-Law, 2023, the zoning of Erf 2023 Wilderness is Single Residential Zone I.

4.5 General Plan

Erf 2023 Wilderness forms part of General Plan 8139/1995, the General Plan for the area known as Constantia Kloof. A copy of the General Plan is attached hereto as **Annexure “E”**.

4.6 Title Deed

Erf 2023 Wilderness is registered in the name of Deon Christo Smit. A copy of Title Deed of the erf, Title Deed No. T2881/2021, is attached hereto as **Annexure “F”**.

4.7 Power of Attorney

A Power of Attorney, whereby Jan Vrolijk Town Planner / Stadsbeplanner is appointed by Deon Christo Smit, the registered owner of Erf 2023 Wilderness, to prepare the application referred to in point 2 of this motivation report and to sign all relevant documents is attached hereto as **Annexure “G”**.

4.8 Bondholder's Consent

Erf 2023 Wilderness is not encumbered by a bond.

4.9 Conveyancer Certificate

A Conveyancer Certificate in respect of Erf 2023 Wilderness is attached hereto as **Annexure “H”**. The Conveyancer Certificate confirms that there are no conditions in the Title Deed of the application erf which restricts the proposed uses on the erf.

5. DESIRABILITY OF APPLICATION FOR PERMANENT DEPARTURE (CONDITIONS OF APPROVAL FOR CONSTANTIA KLOOF): ERF 2023 WILDERNESS

5.1 Introduction

Specific issues which must be addressed in the motivation of applications are highlighted in the Land Use Planning By-Law for George Municipality, 2023. These issues are, however, aimed at

more complex applications and are not applicable to lesser applications, such as a permanent departure from the conditions of approval for Constantia Kloof.

This application will therefore be motivated with reference to the following aspects:

- *Compatibility of the proposal with the existing planning and land uses of the surrounding area.*
- *The impact that the proposal will have on the environment.*
- *The impact that the proposal will have on traffic and parking in the surrounding area.*
- *The impact that the proposal will have on surrounding facilities such as schools, open spaces and other community facilities, should the application result in an increase in the population of the area concerned.*
- *The impact that the proposal will have on the existing character of the surrounding area and the right of the inhabitants of the area in respect of property values, privacy, view, sunlight, et cetera.*
- *Provision of essential services.*

It will be indicated in the following paragraphs that the proposal can be regarded as being desirable as far as the mentioned aspects are concerned.

5.2 Existing planning in the area

The area of Wilderness where the application erf is located has a single residential land use character, with dwelling houses of varying architectural appearance. Due to the unique views and location, some of the dwelling houses are used as guesthouses.

The conditions of approval for Constantia Kloof are outdated and therefore George Municipality has in the past granted departures from the conditions of approval. In this instance departure is required for use of different construction materials including concrete and grey colour paint. There are dwelling houses in the immediate vicinity of the application erf where deviations of the construction materials have been approved, i.e. Erf 2033 Wilderness (house completed), to the west of the application erf and Erf 2022 Wilderness (house currently under construction), adjacent and to the north of the application erf.

The permanent departure, as proposed in this application, will therefore not establish an undesirable precedent, and can be accommodated within the existing planning of the area.

5.3 Impact on schools, open spaces and other community facilities

The permanent departure proposed in this application will only result in a deviation from the approved external finish of the dwelling house. As such, the proposal will not have an impact on schools, open spaces and community facilities in the area. This aspect is therefore not relevant to this application.

5.4 Impact on the streetscape

Erf 2023 Wilderness is located at the end of Kooboo Berry Close, on the northern border of Constantia Kloof. As Kooboo Berry Close primarily gives access to the erven located along the street and there is also a controlled access at the end of Kooboo Berry Close to the smallholdings located above Constantia Kloof, the street carries limited traffic. The application erf is situated on the outside of a bend in Kooboo Berry Close. The street boundary of the application erf is, therefore, substantially narrower than that of other erven in the street.

The following photo shows the current street elevation of the development on the erf. Only the two double garages and the paved access to the erf are visible from the street, as the habitable rooms are located south-east of the garages, at a lower level than the garages.



The proposed departure from the conditions of approval for Constantia Kloof to make use of modern building materials and colors will not negatively impact the streetscape in the area as only the two double garages are visible from the street. There are dwelling houses with similar design features within Kooboo Berry Close and the bigger Constantia Kloof area. The following photo shows the street elevation of the existing dwelling house on Erf 2033 Wilderness, to the west of the application erf. The full north elevation of this dwelling house is visible from the street, whereas only the garages of the application erf are visible.



The permanent departure as proposed in this application will, therefore, not have a negative impact on the streetscape in the vicinity of the application property.

5.5 Impact on sunlight, view and privacy

The permanent departure proposed in this application will only result in a deviation from the approved external finish of the dwelling house. As such, the proposal will not have an impact on sunlight, view or privacy of any of the adjacent erven.

This aspect is therefore not relevant to this application.

5.6 Impact on property values

As indicated in the previous paragraphs, the dwelling house in respect of which the permanent departure is required, does not have a negative impact on any of the surrounding erven. The proposed outside finish of the dwelling house is of good quality and has a modern architectural style, similar to several other dwelling houses in the Constantia Kloof area. The proposal will add value to the erf and represents a substantial capital investment by the owner.

The value of surrounding erven can, therefore, not be negatively impacted upon by the permanent departure as proposed in this application.

5.7 Impact on provision of parking

The parking requirements applicable to different land uses are set out in table format in Section 42 of the George Integrated Zoning Scheme By-law, 2023.

As indicated on the approved site and building plan attached hereto as **Annexure “C”**, two double motor garages are provided on the application erf, which complies with the minimum parking requirement to provide 2 parking bays per dwelling house. The departure applied for will have no effect on provision of parking.

The provision of on-site parking will therefore not be negatively impacted upon by the granting the permanent departure as proposed.

5.8 Impact of traffic circulation

Erf 2023 Wilderness is situated in Kooboo Berry Close, Wilderness, which is a residential street, serving primarily the local residents in this street and (via access control), some of the smallholding properties north of Constantia Kloof.

The permanent departure proposed in this application will only result in a deviation from the approved external finish of the dwelling house. As such, the proposal will not have an impact on

the traffic circulation in Kooboo Berry Close. As indicated on the copy of the approved site plan and building plan, a copy of which is attached hereto as **Annexure “C”**, the 2 existing double garages and street access have been approved with the approval of the original building plan.

This aspect is therefore not relevant to this application.

5.9 Provision of services

The dwelling house has been connected to the municipal services that are available in the area. The permanent departure as proposed in this application will not have any negative impact on existing services or the provision of services in the area concerned.

5.10 Firefighting

The firefighting requirements stipulated in the fire-regulations will not be negatively impacted upon as the application erf will still be fully accessible for fire-fighting purposes.

6. CONCLUSION

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the conditions of approval for Constantia Kloof in respect of building materials.

As indicated in this report, the proposed application for permanent departure is compatible with all existing planning documents, spatial plans, legislation and policy documents applicable to the application.

The proposal will not have a negative impact on the environment, development, public facilities, traffic circulation or Municipal services in the surrounding area.

The application can therefore be considered desirable and is submitted for consideration in terms of the relevant stipulations of the Land Use Planning By-Law for the George Municipality, 2023.

ANNEXURE "A" – ARCHITECT'S 3D RENDERINGS



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ANNEXURE "B" - APPLICATION FORM



Application Form for Application(s) Submitted in terms of the Land Use Planning By-Law for George Municipality

NOTE: Please complete this form by using: Font: Calibri; Size: 11

PART A: APPLICANT DETAILS

First name(s)	Johannes George		
Surname	Vrolijk		
SACPLAN Reg No. (if applicable)	A/1386/2010		
Company name (if applicable)	Jan Vrolijk Town Planner / Stadsbeplanner		
Postal Address	P O Box 710		
	George	Postal Code	6530
Email	janvrolijk@jvtownplanner.co.za		
Tel	044 873 3011	Fax	086 510 4383
		Cell	082 464 7871

PART B: REGISTERED OWNER(S) DETAILS (if different from applicant)

Registered owner	Deon Christo Smit		
Address	2023 Kooboo Berry Close		
	Constantia Kloof, Wilderness	Postal code	6560
E-mail	ensco@mweb.co.za		
Tel	N/a	Fax	N/a
		Cell	082 555 0839

PART C: PROPERTY DETAILS (in accordance with Title Deed)

Property Description [Erf / Erven / Portion(s) and	Erf 2023 Wilderness
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Farm number(s), allotment area.]											
Physical Address	2023 Kooboo Berry Close, Constantia Kloof, Wilderness										
GPS Coordinates					Town/City		George				
Current Zoning	Single Residential Zone I		Extent		1 707m²		Are there existing buildings?		Y	N	
Current Land Use	Residential										
Title Deed number & date	T2881/2021										
Any restrictive conditions prohibiting application?	Y	N	If Yes, list condition number(s).		N/a						
Are the restrictive conditions in favour of a third party(ies)?	Y	N	If Yes, list the party(ies).		N/a						
Is the property encumbered by a bond?	Y	N	If Yes, list Bondholder(s)?		N/a						
Has the Municipality already decided on the application(s)?	Y	N	If yes, list reference number(s)?		N/a						
Any existing unauthorized buildings and/or land use on the subject property(ies)?					Y	N	If yes, is this application to legalize the building / land use?			Y	N
Are there any pending court case / order relating to the subject property(ies)?					Y	N	Are there any land claim(s) registered on the subject property(ies)?			Y	N
PART D: PRE-APPLICATION CONSULTATION											
Has there been any pre-application consultation?			Y	N	If Yes, please complete the information below and attach the minutes.						
Official's name	N/a		Reference number		N/a		Date of consultation		N/a		
PART E: LAND USE APPLICATIONS IN TERMS OF SECTION 15 OF THE LAND USE PLANNING BY-LAW FOR GEORGE MUNICIPALITY & APPLICATION FEES PAYABLE											
*Application fees that are paid to the Municipality are non-refundable and proof of payment of the application fees must accompany the application.											

BANKING DETAILS

Name: George Municipality
Bank: First National Bank (FNB)
Branch no.: 210554
Account no.: 62869623150
Type: Public Sector Cheque Account
Swift Code: FIRNZAJJ
VAT Registration Nr: 4630193664
E-MAIL: msbrits@george.gov.za
***Payment reference:** Erven ____, George/Wilderness/Hoekwil...

PART F: DETAILS OF PROPOSAL

Application is made in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the original conditions of approval for Farm 158 known as Constantia Kloof, with specific reference to Condition 4.2 of the approval dated 25 November 1996 to allow for the construction of a concrete and painted dwelling house on Erf 2023, Wilderness.

PART G: ATTACHMENTS & SUPPORTING INFORMATION FOR LAND USE PLANNING APPLICATIONS

Please complete the following checklist and attach all the information relevant to the proposal. Failure to submit all information required will result in the application being deemed incomplete.

Is the following compulsory information attached?

Y	<i>N</i>	<i>Completed application form</i>			<i>Y</i>	N	<i>Pre-application Checklist (where applicable)</i>	
Y	<i>N</i>	<i>Power of Attorney / Owner’s consent if applicant is not owner</i>			<i>Y</i>	N	<i>Bondholder’s consent</i>	
Y	<i>N</i>	<i>Motivation report / letter</i>			Y	<i>N</i>	<i>Proof of payment of fees</i>	
Y	<i>N</i>	<i>Full copy of the Title Deed</i>			Y	<i>N</i>	<i>S.G. noting sheet extract / Erf diagram / General Plan</i>	
Y	<i>N</i>	<i>Locality Plan</i>			Y	<i>N</i>	<i>Site layout plan</i>	
<i>Minimum and additional requirements:</i>								
Y	<i>N</i>	<i>N/A</i>	<i>Conveyancer’s Certificate</i>		<i>Y</i>	<i>N</i>	N/A	<i>Land Use Plan / Zoning plan</i>
<i>Y</i>	<i>N</i>	N/A	<i>Proposed Subdivision Plan (including street names and numbers)</i>		<i>Y</i>	<i>N</i>	N/A	<i>Phasing Plan</i>
<i>Y</i>	<i>N</i>	N/A	<i>Consolidation Plan</i>		<i>Y</i>	<i>N</i>	N/A	<i>Copy of original approval letter (if applicable)</i>
<i>Y</i>	<i>N</i>	N/A	<i>Site Development Plan</i>		<i>Y</i>	<i>N</i>	N/A	<i>Landscaping / Tree Plan</i>
<i>Y</i>	<i>N</i>	N/A	<i>Abutting owner’s consent</i>		<i>Y</i>	<i>N</i>	N/A	<i>Home Owners’ Association consent</i>
<i>Y</i>	<i>N</i>	N/A	<i>Copy of Environmental Impact Assessment (EIA) /</i>		<i>Y</i>	<i>N</i>	N/A	<i>1 : 50 / 1:100 Flood line determination (plan / report)</i>

			Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) (strikethrough irrelevant)				
Y	N	N/A	Services Report or indication of all municipal services / registered servitudes	Y	N	N/A	Required number of documentation copies
Y	N	N/A	Any additional documents or information required as listed in the pre-application consultation form / minutes	Y	N	N/A	Other (specify)

PART H: AUTHORISATION(S) IN TERMS OF OTHER LEGISLATION

Y	N/A	National Heritage Resources Act, 1999 (Act 25 of 1999)	Y	N/A	Specific Environmental Management Act(s) (SEMA)
Y	N/A	National Environmental Management Act, 1998 (Act 107 of 1998)			(e.g. Environmental Conservation Act, 1989 (Act 73 of 1989), National Environmental --
Y	N/A	Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)			Management: Air Quality Act, 2004 (Act 39 of 2004),
Y	N/A	Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)(SPLUMA)			National Environmental Integrated Coastal Management Act, 2008 (Act 24 of 2008),
Y	N/A	Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations			National Environmental Management: Waste Act, 2008 (Act 59 of 2008),
Y	N/A	Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA)	Y	N/A	National Water Act, 1998 (Act 36 of 1998) (strikethrough irrelevant)
Y	N	If required, has application for EIA / HIA / TIA / TIS / MHIA approval been made? If yes, attach documents / plans / proof of submission etc.			
Y	N	If required, do you want to follow an integrated application procedure in terms of section 44(1) of the Land-Use Planning By-law for George Municipality?			

SECTION I: DECLARATION

I hereby wish to confirm the following:

1. That the information contained in this application form and accompanying documentation is complete and correct.
2. The Municipality has not already decided on the application.
3. I'm aware that it is an offense in terms of section 86(1)(d) to supply particulars, information or answers in an application, knowing it to be false, incorrect or misleading or not believing them to be correct.
4. I am properly authorized to make this application on behalf of the owner and (where applicable) copies of such full relevant Powers of Attorney/Consent are attached hereto.
5. I have been appointed to submit this application on behalf of the owner and it is accepted that correspondence from and notifications by the Municipality in terms of the by-law will be sent only to me as the authorised agent and the owner will regularly consult with the agent in this regard (where applicable).
6. That this submission includes all necessary land use planning applications required to enable the development proposed herein.
7. I confirm that the relevant title deed(s) have been read and that there are no restrictive title deed restrictions, which impact on this application, or alternatively an application for removal/amendment/suspension forms part of this submission.
8. I am aware of the status of the existing bulk services and infrastructure in the subject area and that I am liable for any possible development charges which may be payable as a result of the proposed development.
9. I acknowledge that in terms of the Protection of Personal Information Act (POPIA) all correspondence will be communicated directly and only to myself (the applicant). No information will be given to any third party and/or landowner (if the landowner is not the applicant). I herewith take responsibility to convey all correspondence to the relevant parties.

Applicant's signature:



Date:

11 August 2026

Full name:

Johannes George Vrolijk

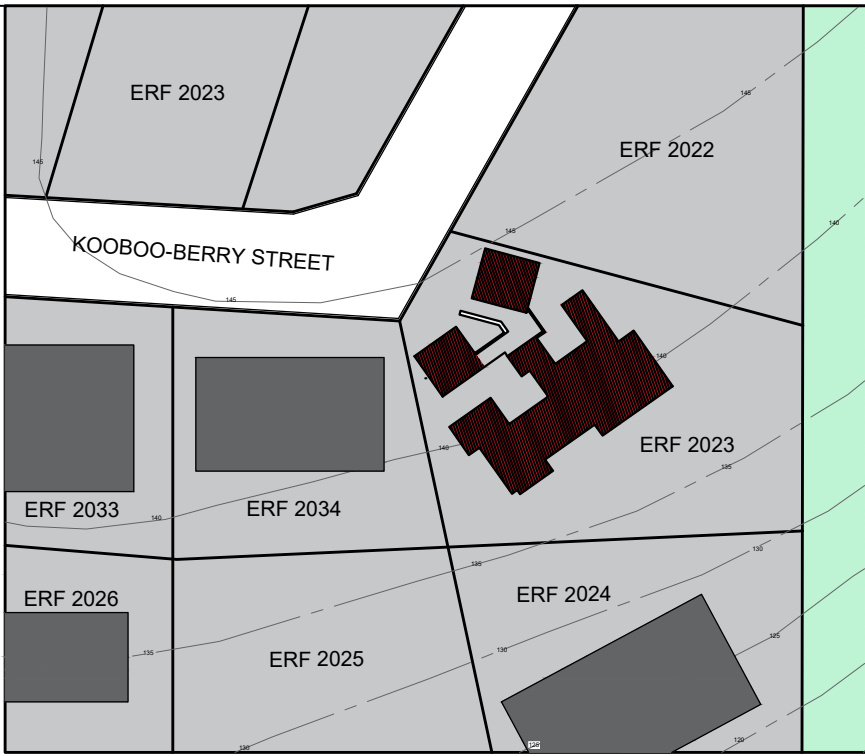
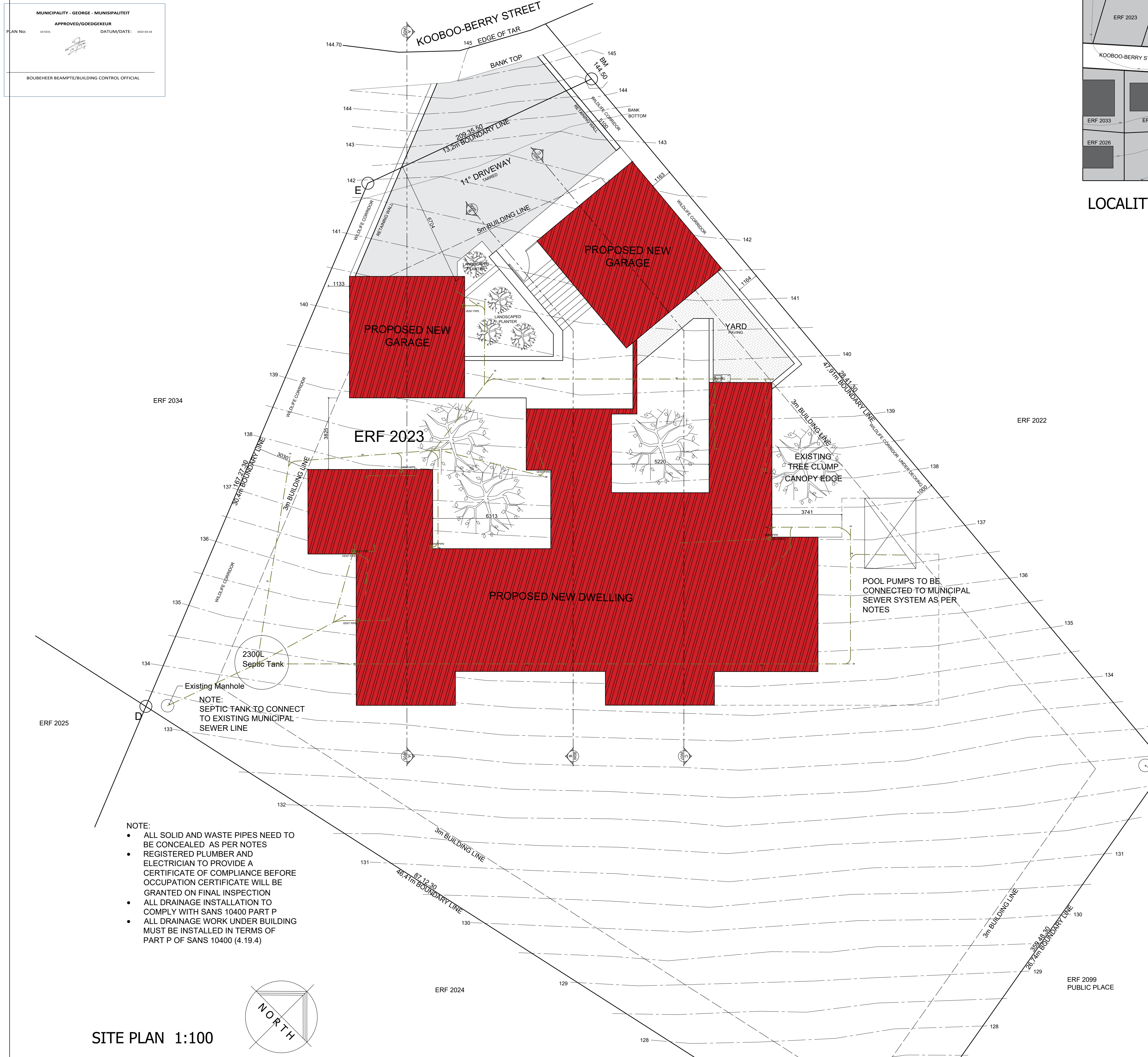
Professional capacity:

Professional Town Planner

SACPLAN Reg. Nr:

A/1386/2010

ANNEXURE "C" – APPROVED SITE PLAN AND BUILDING PLAN



LOCALITY PLAN 1:1000

NOTES:

ERF AREA:	1709.5m ²
TOTAL BUILDING COVERAGE :	461m ²
	26.9%
COVERAGE INCLUDING DRIVEWAY (DISTURBANCE OF VEGETATION)	619.4m ²
	36.2%
LEVEL 1:	198.8m ²
LEVEL 2 :	245.0m ²
STORE ROOM:	22.0m ²
LEVEL 3 - GARAGES:	69.8m ²
NALCON'S AND DECK:	113.0m ²
NATURAL VEGETATION COVERAGE:	63.8 %

CONCRETE ROOF AREA:	251,6m²	49.5%
KLIPOCK ROOF AREA:	256,7m²	50,5%

Drainage notes:

- Registered plumber and electrician to provide a certificate of compliance before occupation certificate will be granted on final inspection
- All drainage installation to comply with SANS 10400 Part P
- All drainage work under building must be installed in terms of Part P of SANS 10400 (4.19.4)
- At any point within 1.5 m of the connection of the drain to a connecting sewer, septic tank or conservancy tank, provided that an inspection eye shall be installed immediately downstream of such point.
- All plumbing to be built into walls where exposed
- All soil pipes under building or footings to be encased in concrete of min. 300mm thickness all around pipe.
- Inspections eyes at all bends and junctions of drains, with marked covers at ground level.
- All waste pipes to be accessible over their entire length.
- No drainage bends or junctions in or under floor.
- Provide I.E.'s at each end of encased drain where same passes underneath the building as nearest possible locations.
- Pre-sealing traps to all waste water fittings (two pipe system).
- Waste pipes on single pipe system will be fitted with 65mm deep seal traps and each fitting will be anti-siphoned
- Waste pipes under floors to be sleeved
- Min fall of 100mm drains to be 1:40 with min of 300mm cover.

status

MUNICIPAL SUBMISSION

architect

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www.scottarchitects.co.za



client

DEON SMIT

projec

PROPOSED NEW
DWELLING

site

ERF 2023,KOOBOO
BERRY STREET,
WILDERNESS

drawing

SITE PLAN

PAGE NUMBERS:	
SITE PLAN	- W01
LEVEL 1 FLOOR PLAN	- W02
LEVEL 2 FLOOR PLAN	- W03
LEVEL 3 FLOOR PLAN	- W04
SECTION A-A	- W05
SECTION B-B	- W06
SECTION C-C	- W07
ELEVATION	- W08
ROOF PLAN	- W09
ELECTRICAL PLAN	- W10
DOOR SCHEDULE 1	- W11
DOOR SCHEDULE 2	- W12
WINDOW SCHEDULE 1	- W13
WINDOW SCHEDULE 2	- W14

scale

1:100

drawn by

N.GOODRICH
(SACAR NO. CANTE1000000)

date

24/02/2022

checked by

R.S.SCOTT
SACAP NO. PROF ARCH 6469

project no.

158

(A1)

2.8

ARCHITECTS SIGNATU

South African Council
for the Health Professions

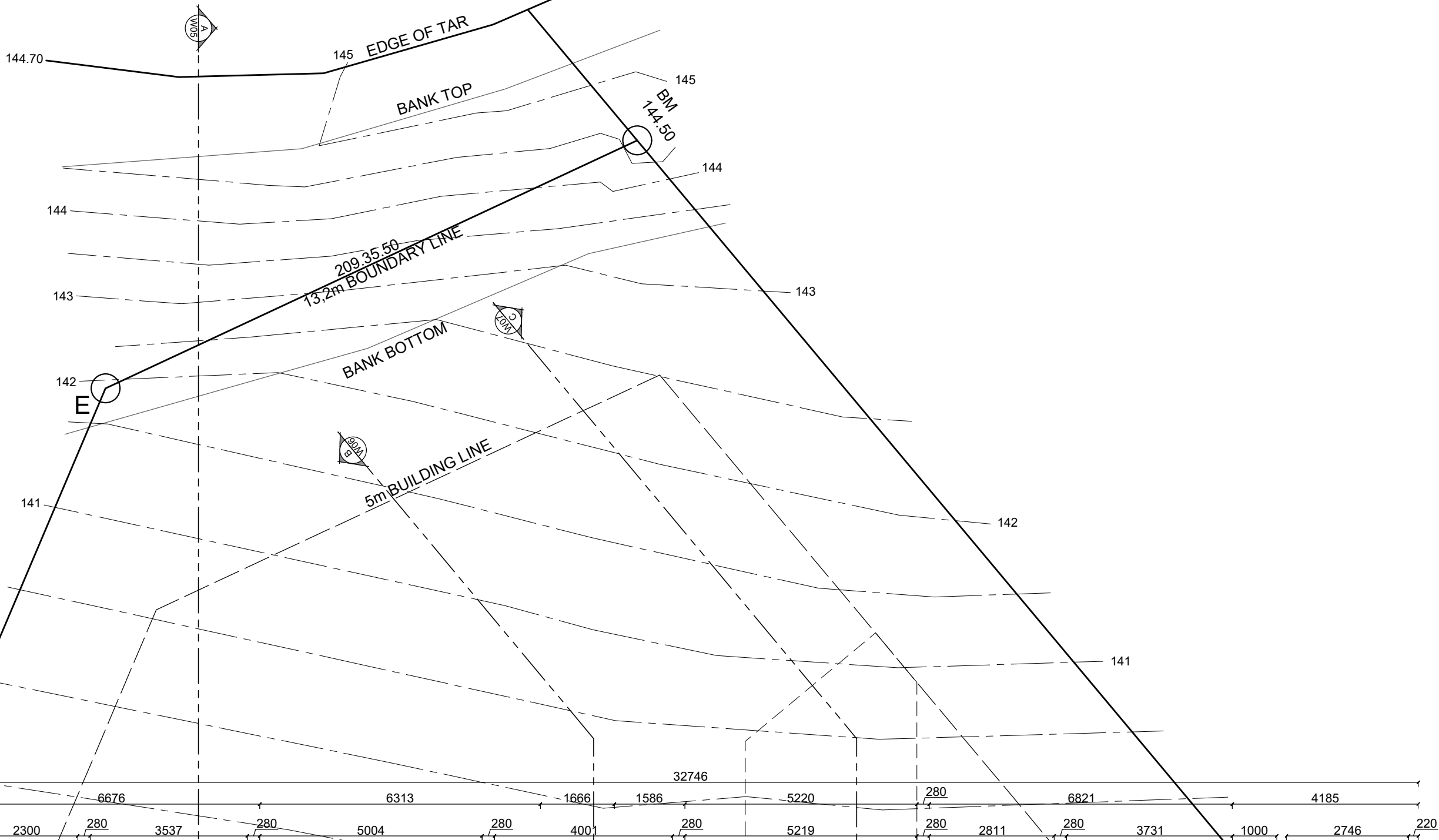
CLIENT

1

The design on this drawing remains the property of the designer - copyright reserved to Scott Architects. All dimensions to be checked on site before work commences. Any discrepancy must immediately be reported to the designer. This drawing is not to be scaled. All work to comply with the NBR, any relevant SABS code of practice and any local authority regulations. The contractor is to make themselves aware of these prior to commencement of work.

D. SMI*

KOOBOO-BERRY STREET



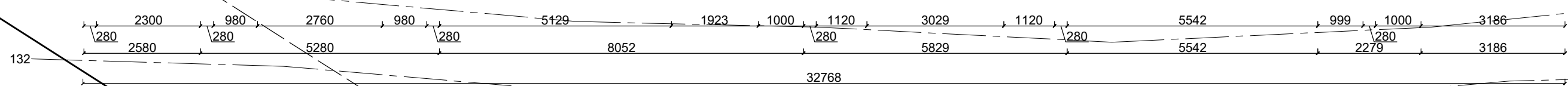
ERF 2023

ERF 2022

ERF 2034

ERF 2025

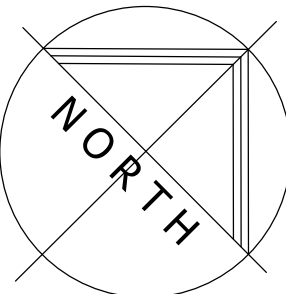
NOTE:
SEPTIC TANK TO CONNECT
TO EXISTING MUNICIPAL
SEWER LINE



ERF 2024

ERF 2099
PUBLIC PLACE

LEVEL 1 FLOOR PLAN 1:100



NOTES:

ERF AREA:	1709.5m ²
TOTAL BUILDING COVERAGE :	461m ²
COVERAGE INCLUDING DRIVEWAY (DISTURBANCE OF VEGETATION)	26.9%
LEVEL 1:	36.2%
LEVEL 2 :	198,8m ²
STORE ROOM:	245,0m ²
LEVEL 3 - GARAGES:	22,0m ²
BALCONY'S AND DECK:	69,8m ²
NATURAL VEGETATION COVERAGE:	113,0m ²
	63,8 %
CONCRETE ROOF AREA:	251,6m ²
KLIPLOCK ROOF AREA:	49,5%
	256,7m ²
	50,5%

GENERAL NOTES:

- All levels, dimensions and positions to be checked on site and verified before any work commenced.
- Any errors, discrepancies or omissions to be reported to the architect immediately.
- All work to be in accordance with good and accepted local building practice.
- Figured dimensions to be taken in preference to scaled dimensions.
- These architectural drawings are to be read in conjunction with engineers and consultants drawings, where applicable.
- All building by - laws, health and fire requirements to be strictly adhered to.
- The contractor will be held responsible for the correct setting out of the works. Any doubt as to the accuracy of boundary pegs or lines to be reported to the client immediately.
- Any errors or discrepancies to be reported immediately for clarification prior to any work being undertaken.
- Levels indicated are provisional and must be checked on site referring to top of foundation.
- Foundations to boundary walls nor to encroach over boundary lines.
- All electrical and drainage work is to be execute by registered tradesmen.
- Care to be taken when excavating for new work. All existing pipes, cables, etc. exposed to be pointed out to client and/or architect, who shall advise necessary action to be taken.
- The contractor shall take all necessary precautions to avoid any damage what so ever, to existing buildings and fences.
- All stairs are 170mm - 200mm high and 300mm wide no alterations allowed.
- Glazing in accordance with SABS 10137
- Balustrades has to comply with SABS 10104, 1 meter high with openings not more than 100mm.
- All Occupational safety regulations as set by Dept. of Labour to comply with.

MUNICIPAL SUBMISSION

architect

SCOTT ARCHITECTS
professional architects

198 George Rd,
Wilderness, 6560
+27 82 447 7228
info@scottarchitects.co.za
www.scottarchitects.co.za



client

DEON SMIT

project

PROPOSED NEW DWELLING

site

ERF 2023,KOOBOO BERRY STREET, WILDERNESS

drawing

LEVEL 1 FLOOR PLAN

scale	1:100	drawn by	N.GOODRICH (SACAP NO. CANT54999998)
date	24/02/2022	checked by	R.S.SCOTT (SACAP NO. PROF ARCH 6469)

project no.	158	drawing no.	W02	(A1)	revision	2.8
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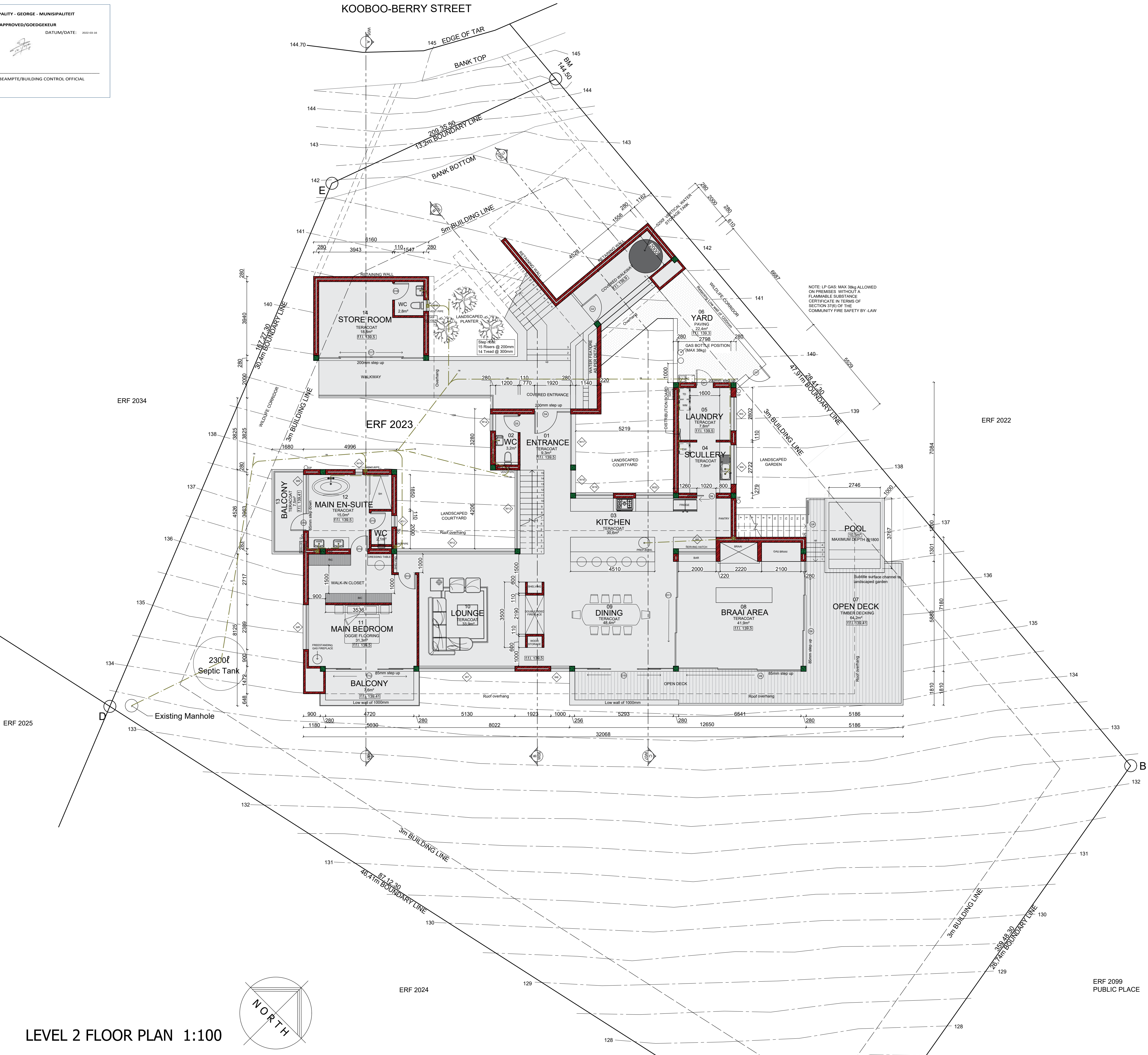
ARCHITECTS SIGNATURE



CLIENTS SIGNATURE



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	26.9%	
COVERAGE INCLUDING DRIVEWAY (DISTURBANCE OF VEGETATION)	36.2%	
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LEVEL 2 :	245.0m ²	
STORE ROOM:	22.0m ²	
LEVEL 3 - GARAGES:	69.8m ²	
BALCONY'S AND DECK:	113.0m ²	
NATURAL VEGETATION COVERAGE:	63.8 %	
CONCRETE ROOF AREA:	251.6m ²	49.5%
KLIPOCK ROOF AREA:	256.7m ²	50.5%

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 - Balustrades has to comply with SABS 10104, 1 meter high with openings not more than 100mm.
 - All Occupational safety regulations as set by Dept. of Labour to comply with.

status

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www.scottarchitects.co.za



client

DEON SMIT

project

PROPOSED NEW DWELLING

site

ERF 2023,KOOBBOO BERRY STREET, WILDERNESS

drawing

LEVEL 2 FLOOR PLAN

scale

1:100

drawn by

N.GOODRICH
(SACAP NO. CANT54999998)

date

24/02/2022

checked by

R.S.SCOTT
(SACAP NO. PROF ARCH 9469)

project no.

158

drawing no.

W03

revision

2.8

ARCHITECT'S SIGNATURE

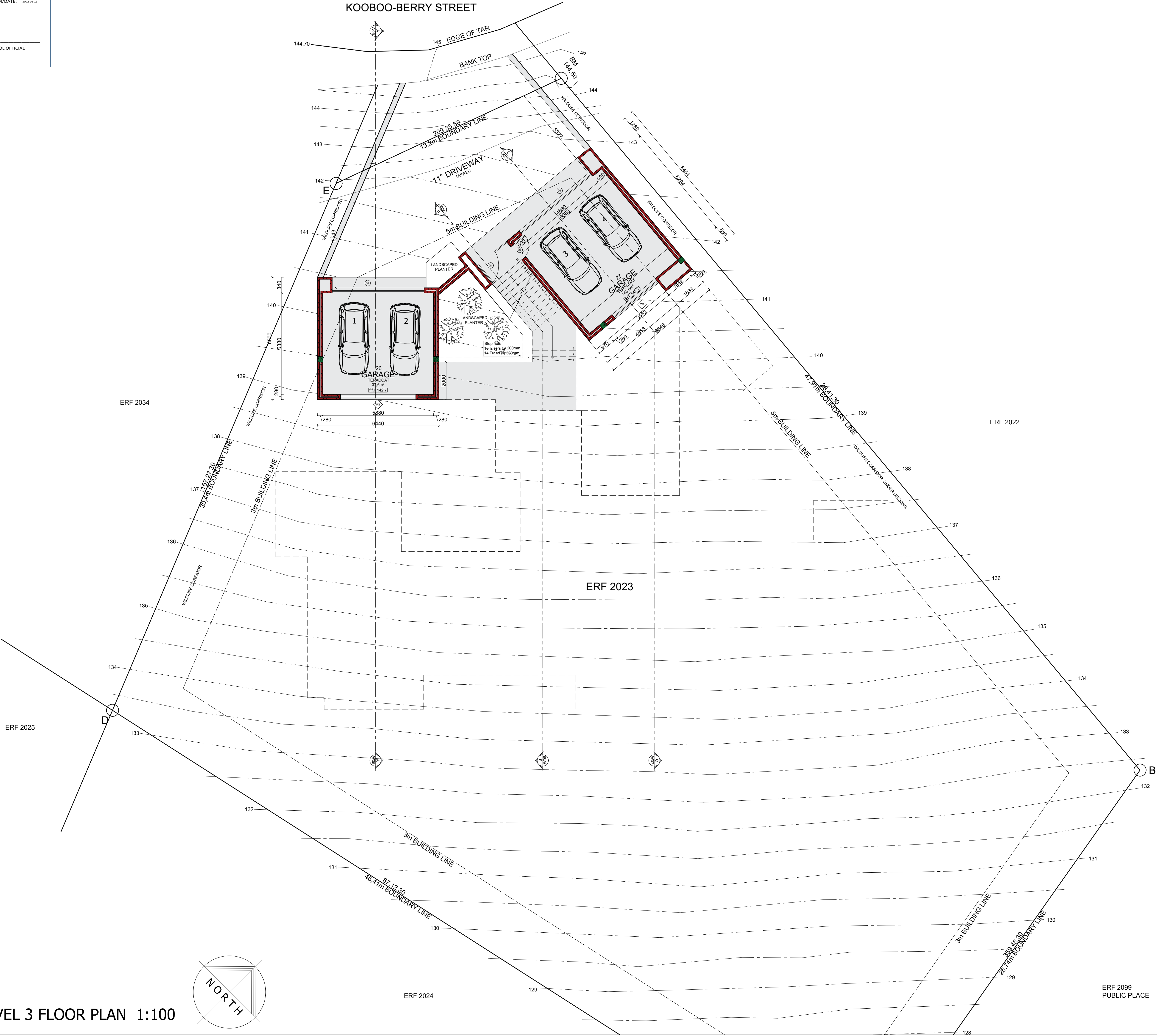


CLIENTS SIGNATURE



D. SMIT

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NOTES:		
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	26.9%	
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LEVEL 2 :	245,0m ²	
STORE ROOM:	22,0m ²	
LEVEL 3 - GARAGES:	69,8m ²	
BALCONY'S AND DECK:	113,0m ²	
NATURAL VEGETATION COVERAGE:	63,8 %	
CONCRETE ROOF AREA:	251,6m ²	49.5%
KLIPLOCK ROOF AREA:	256,7m ²	50,5%

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 - Glazing in accordance with SABS 10137
 - Balustrades has to comply with SABS 10104, 1 meter high with openings not more than 100mm.
 - All Occupational safety regulations as set by Dept. of Labour to comply with.

MUNICIPAL SUBMISSION		
architect	 SCOTT ARCHITECTS professional architects 198 George Rd, Wilderness, 6560 +27 82 447 7228 info@scottarchitects.co.za www.scottarchitects.co.za	
client	DEON SMIT	
project	PROPOSED NEW DWELLING	
site	ERF 2023,KOOB BERRY STREET, WILDERNESS	
drawing	LEVEL 3 FLOOR PLAN	
scale	1:100	drawn by N.GOODRICH (SACAP NO. CANT54999998)
date	24/02/2022	checked by R.S.SCOTT (SACAP NO. PROF ARCH 6469)
project no.	158	drawing no. (A1) W04 revision 2.8
ARCHITECTS SIGNATURE		
CLIENTS SIGNATURE		

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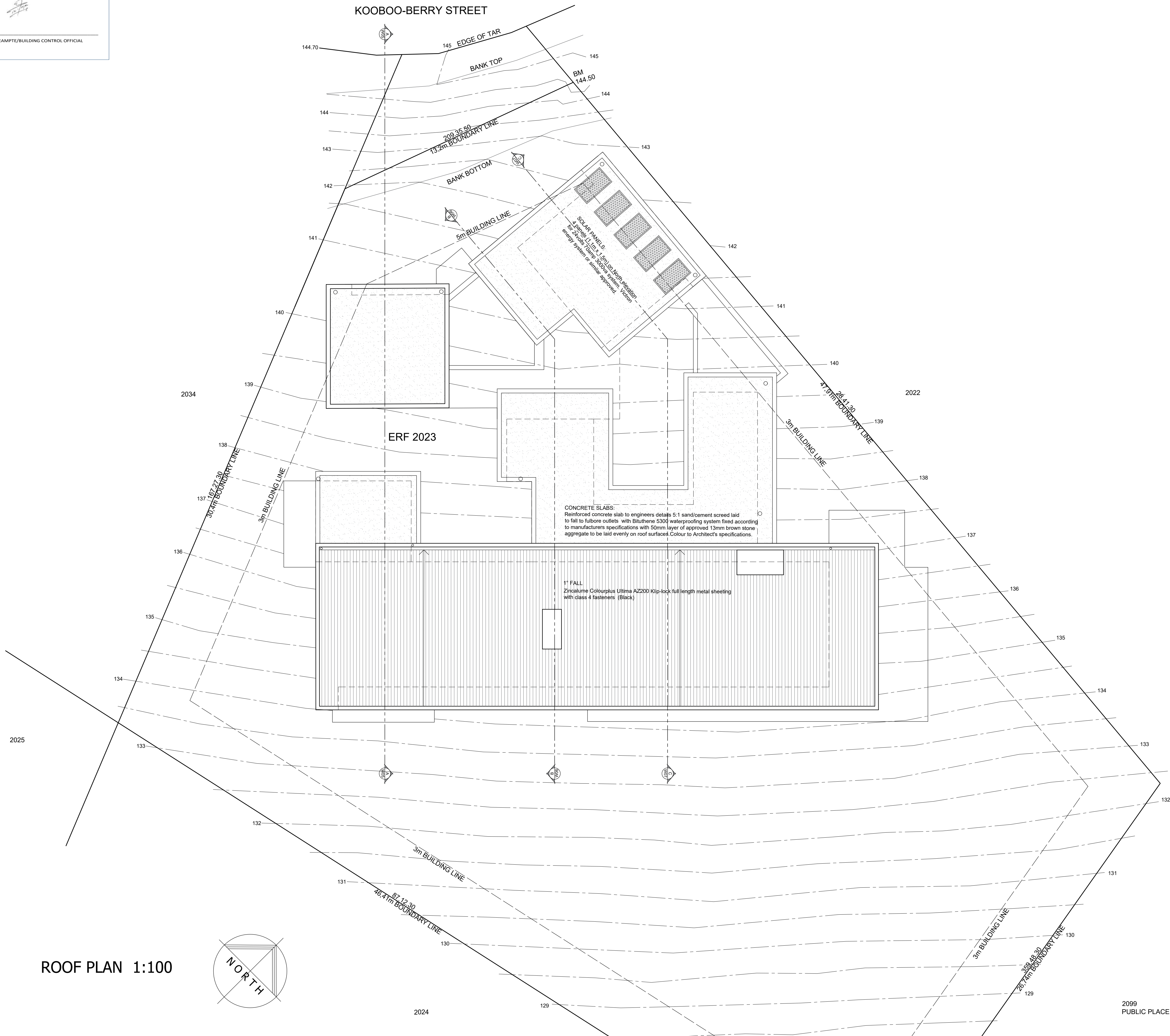
APPROVED/GOEDGEKEUR

PLAN NO: 2573021

DATUM/DATE: 2022-09-26



BOUBEHEER BEAMPT/BUILDING CONTROL OFFICIAL



NOTES:

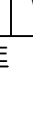
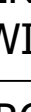
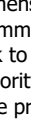
- Zincalume AZ200 Kliplock full length metal sheeting @2° with roofing system to manufacturers specification.
- 231 x 75mm laminated structural rafters @ 600 c.c. as specified by roof manufacturer
- Rafters secured to wall on a bearer beam
- Bearer beam on top of bracket, size, specification & fixing detail by engineer.
- All fasteners to be C5 hexagon flange heads.
- Colour: Black

- CONCRETE ROOF:**
- Reinforced concrete slab to engineers details
 - 5:1 sand/cement creed laid to fall to fulbore outlets with Bituthene 5300 waterproofing system fixed according to manufactures specification
 - 50mm layer of approved 13mm stone aggregate to be laid evenly on roof surface
 - Colour to be approved by Architect.

- SOLAR PANELS:**
- 5 Panels (1,1m X 1,5m) on Northern garage roof for 24volts 70amp 300va system. Victron energy system or similar approved.

- RAINWATER OUTLETS**
- 100 x 125mm Ogee profile seamless Zincalume gutters with 75 x 100 mm rectangular fluted down pipes as per detail.
 - Colour: Black

CONCRETE ROOF AREA:	251.6m ²	49.5%
KLIPLOCK ROOF AREA:	256.7m ²	50.5%

architect  SCOTT ARCHITECTS professional architects 198 George Rd, Wilderness, 6560 +27 82 447 7228 info@scottarchitects.co.za www.scottarchitects.co.za  South African Council for the Architectural Professions  ILASA Architects in South Africa		
client DEON SMIT		
project PROPOSED NEW DWELLING		
site ERF 2023,KOOBOO BERRY STREET, WILDERNESS ROOF PLAN		
drawing scale 1:50	drawn by N.GOODRICH (SACAP NO. CANTS999998) checked by R.S.SCOTT (SACAP NO. PROF ARCH 6460)	
project no. 158	drawing no. W09	(A1) revision 2.8
ARCHITECTS SIGNATURE  PROFESSIONAL ARCHITECT ROBERT STEWART SCOTT (SACAP MEMBERSHIP NO. 00 00 0000) 		
CLIENTS SIGNATURE		
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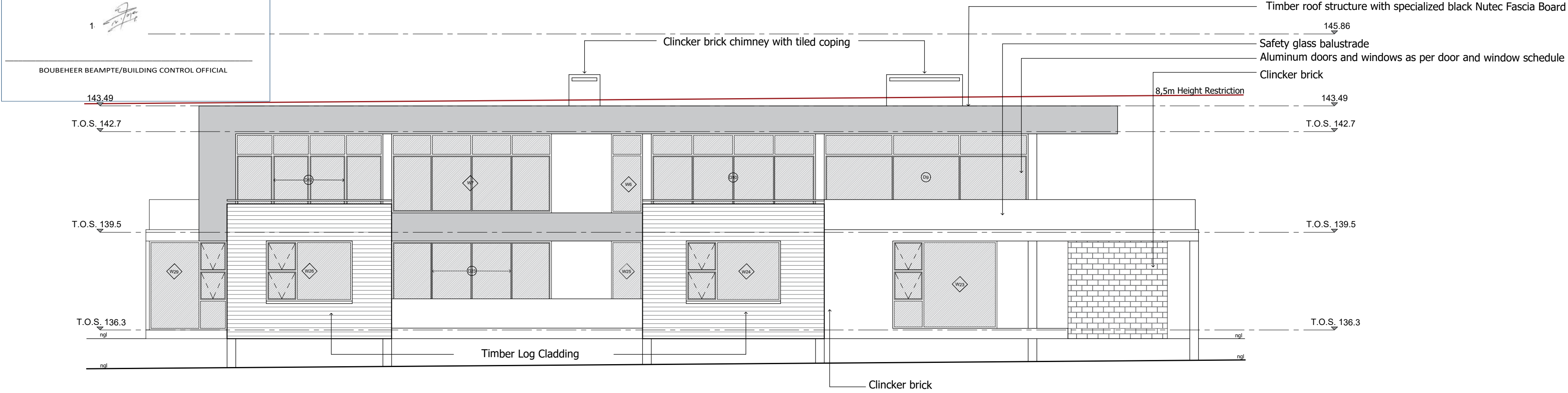
MUNICIPALITY - GEORGE - MUNISIPALITEIT

APPROVED/GODEGGEUR

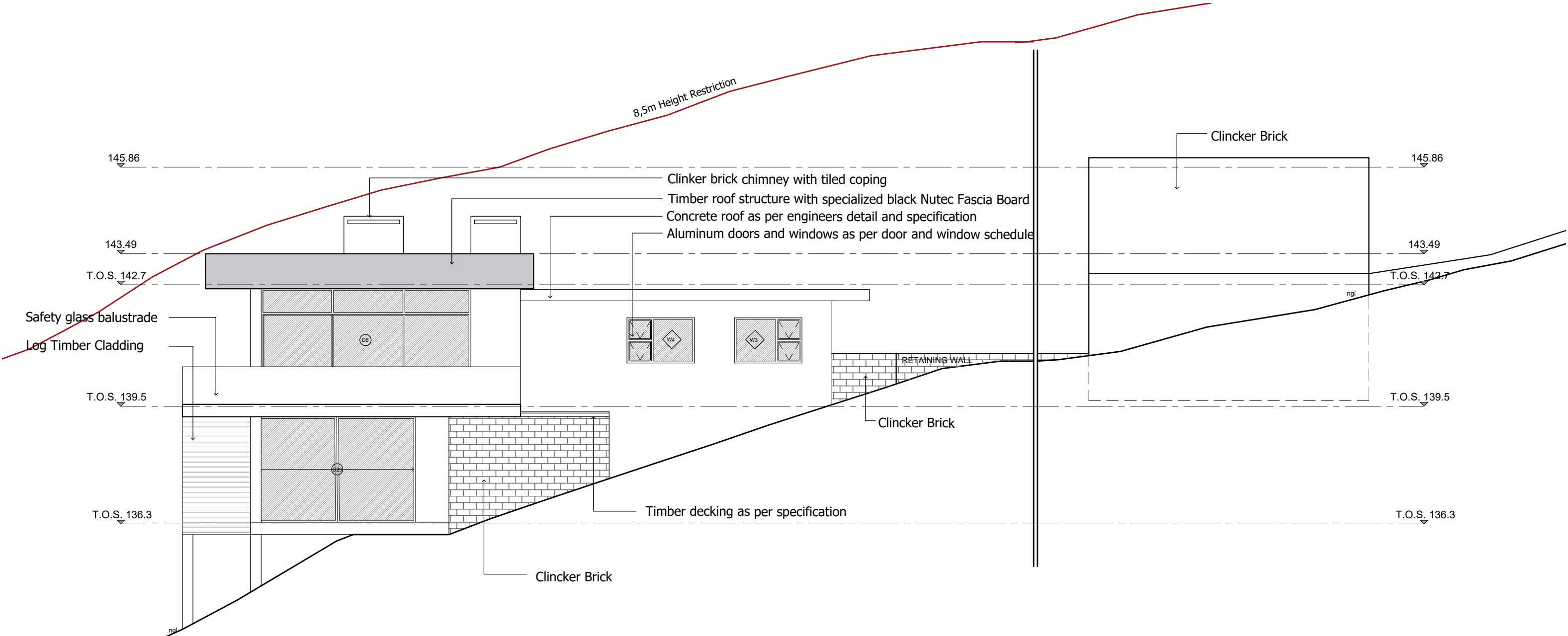
PLAN No: 1572021

DATUM/DATE: 2022-09-16

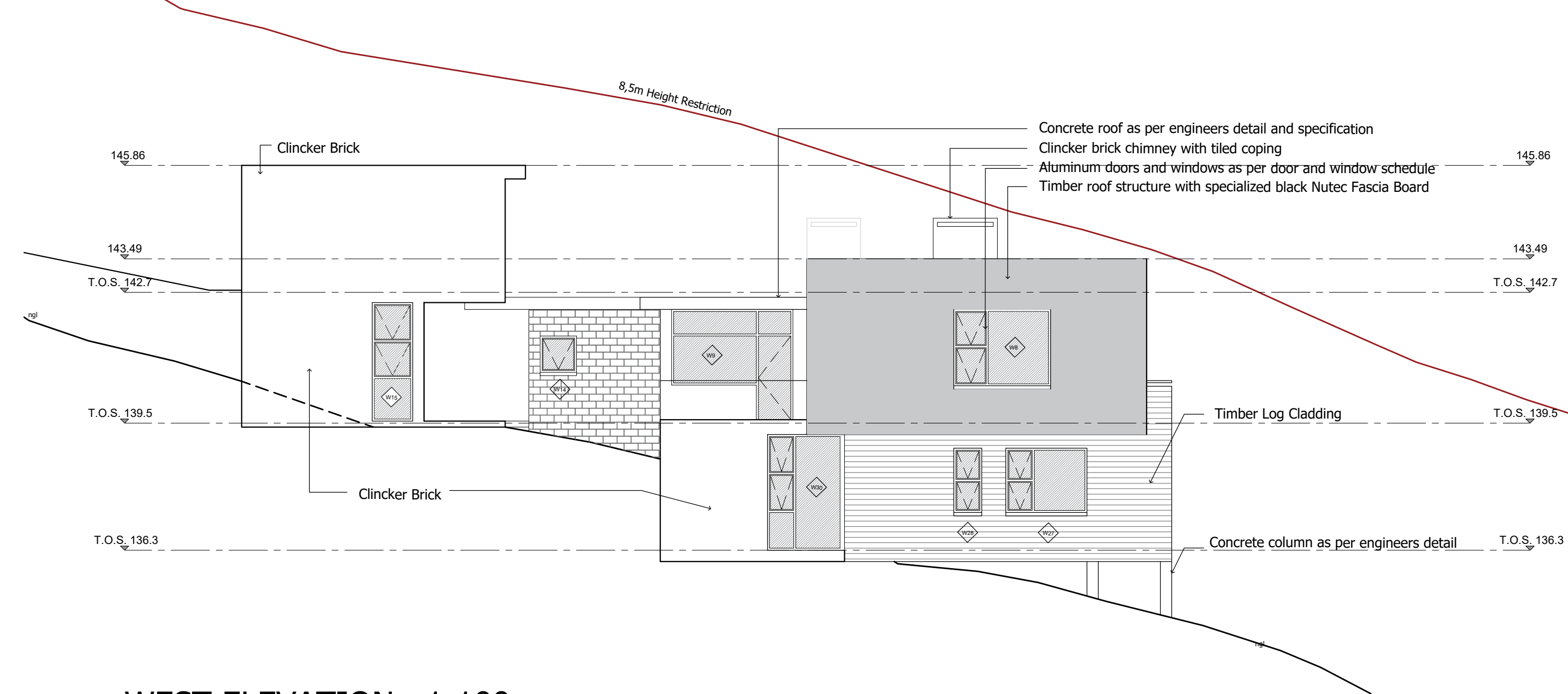
BOUBEHEER BEAMPT/BUILDING CONTROL OFFICIAL



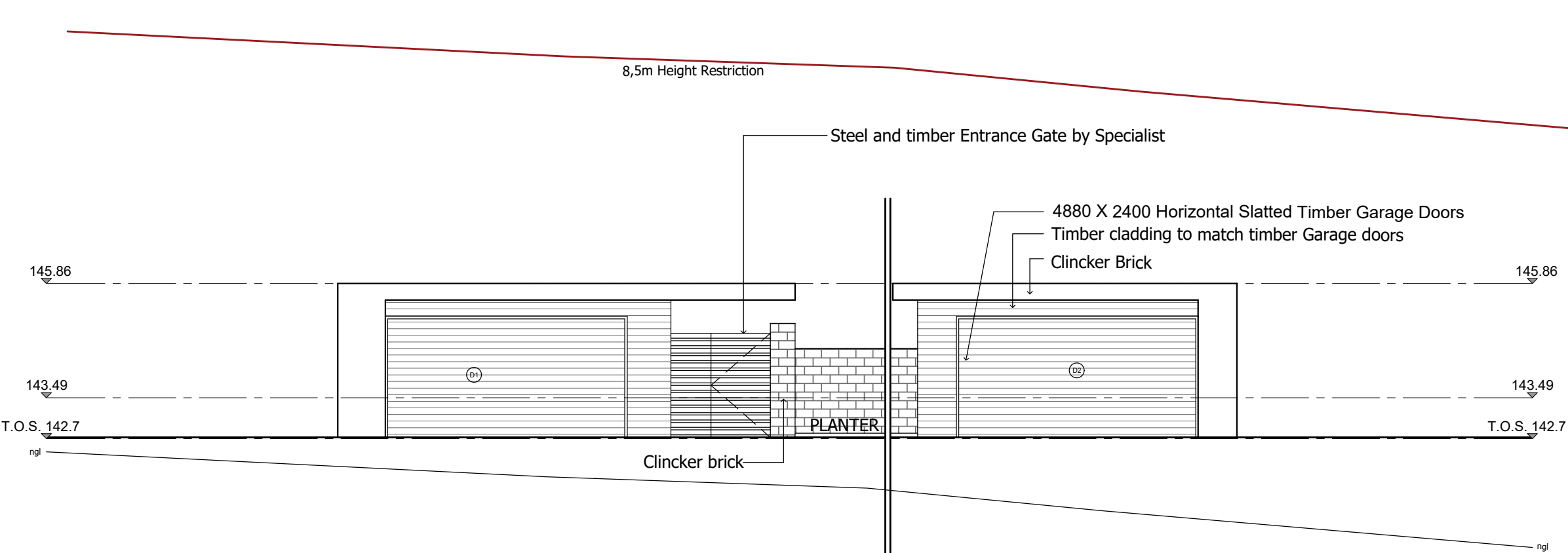
SOUTH ELEVATION 1:100



EAST ELEVATION 1:100



WEST ELEVATION 1:100



NORTH ELEVATION 1:100

status

MUNICIPAL SUBMISSION

architect

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professional architects

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client

DEON SMIT

project

PROPOSED NEW DWELLING

site

ERF 2023,KOOBBOO
BERRY STREET,
WILDERNESS

drawing

ELEVATIONS

scale

1:50

drawn by

N.GOODRICH
(SACAP NO. CANT54999998)

date

24/02/2022

checked by

R.S.SCOTT
(SACAP NO. PROF ARCH 6469)

project no.

158

drawing no.

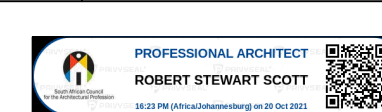
W08

(A1)

revision

2.8

ARCHITECTS SIGNATURE

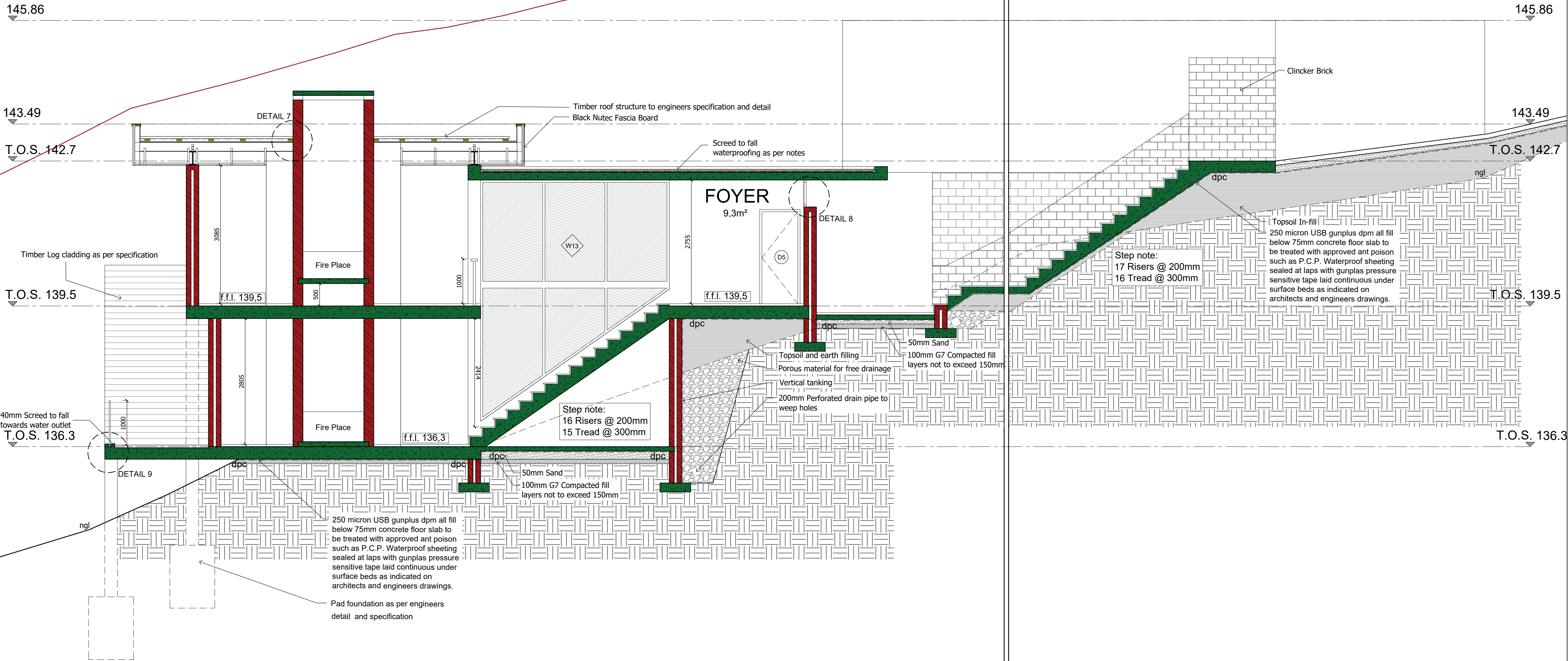


CLIENTS SIGNATURE

D. SMIT

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NOTES:

- ROOF:
- Zincalume AZ200 Kliplock full length metal sheeting @2° with roofing system to manufacturers specification.
 - 231 x 75mm laminated structural rafters @ 600 c.c. as specified by roof manufacturer
 - Rafters secured to wall on a bearer beam
 - Bearer beam on top of bracket, size, specification & fixing detail by engineer.
 - All fasteners to be C5 hexagon flange heads.
 - Colour: Black

- CONCRETE ROOF:
- Reinforced concrete slab to engineers details
 - 5:1 sand/cement creed laid to fall to fulbore outlets with Bituthene 5300 waterproofing system fixed according to manufactures specification
 - 50mm layer of approved 13mm stone aggregate to be layed evenly on roof surface
 - Colour to be approved by Architect.

- FLOOR CONSTRUCTION:
- Floor finish as noted on floorplan, on 40mm screed, 100mm surface bed (min 15mPa) or as stated on the sections and engineers specification.
 - 250 micron USB gunplus dpm all fill below concrete floor slab to be treated with approved ant poison such as P.C.P
 - Waterproof sheeting sealed at laps with gunplas pressure sensitive tape laid continuous under surface beds as indicated on architects and engineers drawings.
 - 50mm sand layer, on compacted fill in layers not exceeding 150mm

- FOUNDATIONS:
- Concrete strip foundations & surfacebed thickening to Engineers spec. Foundation walls to be concrete filled to underside of 250 micron dpm in walls.
 - Pad foundations for each column as per engineers foundation plan.
 - Expansion & control joints according to engineers spec.

- WALLS
- Walls to be built up to the height stated on the sections and elevations.
 - Clincker type bricks with flush joints - Clincker Brick exposed or otherwise stated.
 - Brickforce reinforcement at every 5th brick course
 - Brickwork, wherever practicable and not otherwise specified, shall be built in English bond. No false headers shall be used, and none but whole bricks employed, except where legitimately required to form bond.
 - The brickwork, unless otherwise specified, shall be built in cement mortar.
 - The bricks shall be laid on a solid bed of mortar and all joints thoroughly grouted up solid throughout the whole width of each course.
 - The brickwork shall be carried out in a uniform manner, no one portion being raised more than 1,2m above another at one time
 - Walls to be cladded with a timber Log cladding as specified by architect

- HANDRAILS
- Onlevel 0.74 KN side mounted glass balustrades as per specialists detail.
 - Hardwood BALAU (Timber) top handrail

- RAINWATER OUTLETS
- 100 x 125mm Ogee profile seamless Zincalume gutters with 75 x 100 mm rectangular fluted down pipes as per detail.
 - Colour: Black

MUNICIPAL SUBMISSION

status

architect

client

project

site

drawing

scale

1:50

date

24/02/2022

project no.

158

drawing no.

W06

revision

2.8



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professional architects

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info@scottarchitects.co.za
www.scottarchitects.co.za



ILASA
Institute of Landscape Architects of South Africa

DEON SMIT		
PROPOSED NEW DWELLING		
ERF 2023,KOOBOO BERRY STREET, WILDERNESS		
SECTION B-B		
drawn by	N.GOODRICH (SACAP NO. CANT54999998)	
checked by	R.S.SCOTT (SACAP NO. PROF ARCH 5469)	
project no.	drawing no.	revision
158	W06	2.8

ARCHITECTS SIGNATURE

ROBERT STEWART SCOTT

CLIENTS SIGNATURE

D. SMIT

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SECTION B-B 1:50

ANNEXURE “D” – LOCALITY PLAN

Erf 2023 Wilderness - Locality plan



George Municipality Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Esri South Africa, Esri, HERE, Garmin, USGS

273

0 0.04 0.07 0.14 km

Date: 7/22/2026 10:23 AM Scale: 1:1,240



Disclaimer
George Municipality makes no warranties as to the correctness of the information supplied.
Persons relying on this information do so entirely at their own risk.

George Municipality will not be liable for any claims whatsoever, whether for damages or otherwise, which may arise as a result of inaccuracies in the information supplied.

ANNEXURE “E” – GENERAL PLAN

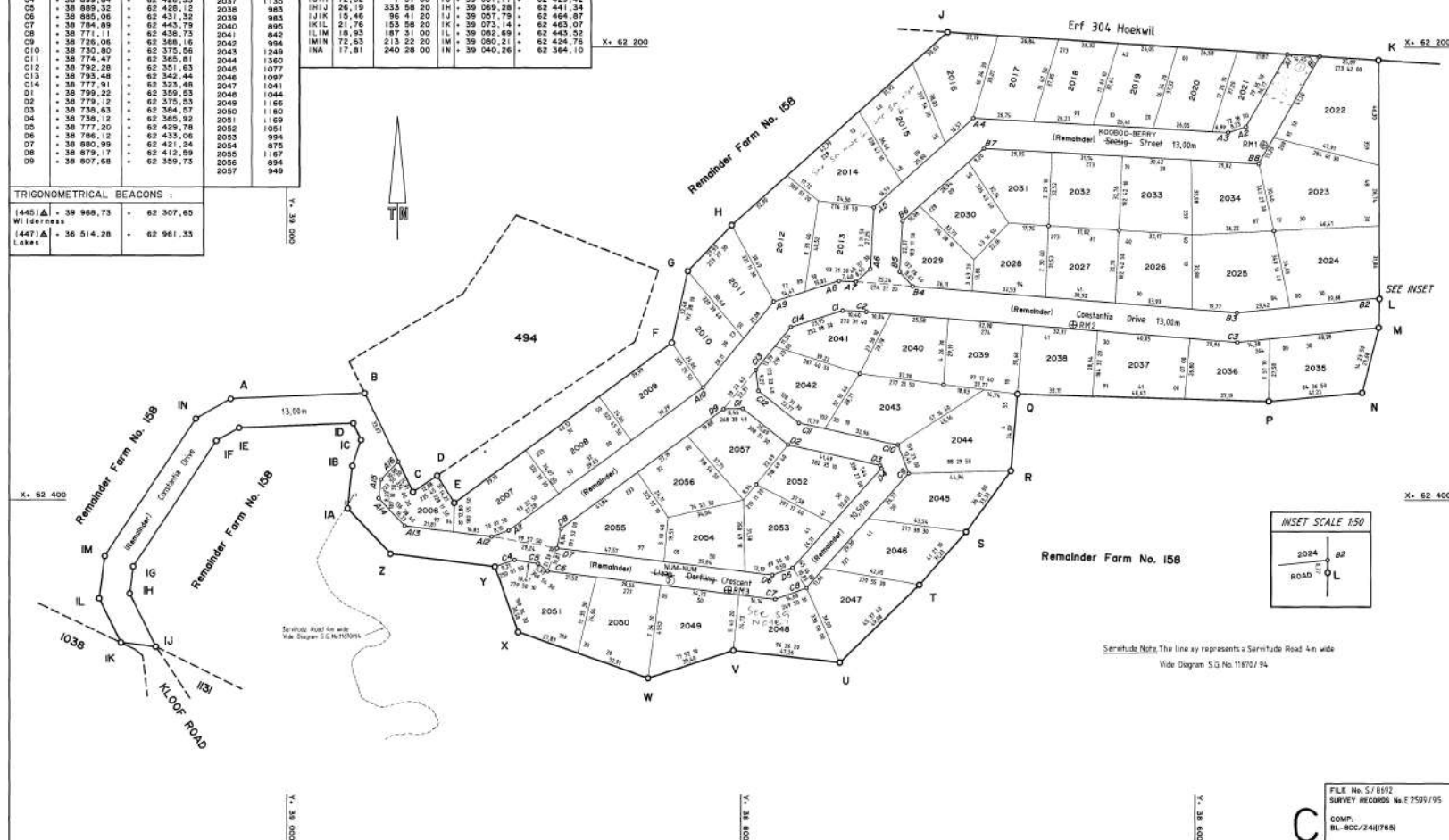
CDR

Situate in the Wilderness District Council
Administrative District of George
Brookings of Western Cape

SCALE 1:750

This general plan was framed by me and I undertake to place the Beacons of the Arven in positions which correspond with the data on this plan and to submit the final general plan and the survey records pertaining thereto within the prescribed period to the Surveyor-General for approval.

G. K. Munns PLS 0429
Pr. Land Surveyor
Date: December 1994 - June 1995



ENDORSEMENTS					
NO	AMENDMENT	ADDITION	AUTHORITY	SIGN	DATE

SURVEYOR-GENERAL OFFICE NOTES

1 Erf 2006 consolidated. New Erf 2016 Dgr No 8881/1996.
 ② Dgrs replaced (Bruen 2007-8) to Reg 1815. § 6462 pgs 60-62.
 ③ Dgr replaced (Erf 2049) to Reg 1821. § 6462 vol 5 pgs 178-179 and
 E.2559/1995.
 4 "P" 2027 REACONS REPLACED VOL E.2595/1995
 5 Street names changed vDE § 6692 vol 6 pg 153.
 6 Green 2016. AD015 included in canal, vide pgs 2249/2173 Erf 2042
 7 1995 notes included in canal, vide Nos 1029/2132 Erf 2192.

FILE No. S/B692
SURVEY RECORDS No. E 2599/95
COMP:
BL-BCC/24H(765)

CO-ORDINATES			
System: 1 to 25 metres			
Constants: Y ± 0,00 X ±3 700 000,00			
REFERENCE MARKS :			
RM1	+ 38 568,36	+ 62 243,15	
RM2	+ 38 653,71	+ 62 322,48	
RM3	+ 38 805,75	+ 62 439,76	

(WILDERNESS ALLOTMENT AREA)
GENERAL PLAN NO. 8139/1995
 OF SUBDIVISIONS OF ERF 2005 WILDERNESS
 Situate in the Wilderness District Council
 Administrative District of George
 Province of Western Cape

CDR

Surveyed In December 1994 - September 1996
 by me

G. K. Munn
 G. K. Munn PLS 0429
 Pr. Land Surveyor

DESCRIPTION OF BEACONS :

12mm drill hole in rock : A3, A11, A14
 X : Not beacons

All reference marks are 12mm round iron pegs in concrete
 0,20m below ground level.

All other beacons are 12mm round iron pegs.

SG No. 8139/95
 SHEET 2 OF 2 SHEETS
 Approved : *G. K. Munn*
 for Surveyor-General
 Date: 1996-11-28

FILE No. S/8092
 SURVEY RECORDS No. E.2592/95
 COMP.
 BL-8CC/2487659

ANNEXURE “F” – TITLE DEED

RAUBENHEIMERS INC
60 CATHEDRAL STREET
GEORGE
6529

TEL: 044-873 2043

Prepared by me

Docg-
CONVEYANCER
ANN MARJORY COETZEE
LPC Membership No: 83392

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R. 2 200 000,00	R. 1691,00
Reason for exemption	Category Exemption.....	Exemption i to. Sec/Reg..... Act/Proc.....



T 000002881 / 2021

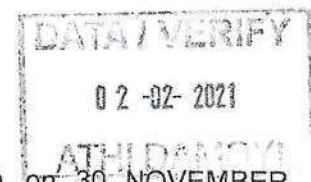
DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

MICHELLE VAN WYK
LPCM No. 80385

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him/her by

ARIANA VAN HEERDEN
IDENTITY NUMBER 560119 0059 08 9
UNMARRIED



which said Power of Attorney was signed at PRETORIA on 30 NOVEMBER 2020

And the appearer declared that his/her said principal had, on 6 November 2020, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

DEON CHRISTO SMIT
IDENTITY NUMBER 660111 5065 08 7
MARRIED OUT OF COMMUNITY OF PROPERTY

his Heirs, Executors, Administrators or Assigns, in full and free property

ERF 2023 WILDERNESS
IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE

IN EXTENT 1707 (ONE THOUSAND SEVEN HUNDRED AND SEVEN)
SQUARE METRES

FIRST TRANSFERRED BY DEED OF TRANSFER NUMBER T64455/1998
WITH GENERAL PLAN SG NUMBER 8139/1995 RELATING THERETO
AND HELD BY DEED OF TRANSFER NUMBER T1622/2019

- A. SUBJECT to the conditions referred to in Deed of Transfer Number T2059/1923 ✓
- B. SUBJECT FURTHER to the terms of the servitude referred to in an endorsement on Deed of Transfer Number T4632/1905 to the effect that certain water and other rights have been ceded in favour of the land transferred by Deed of Transfer Numbers T2955/1907 and T2956/1907.
- C. SUBJECT FURTHER to the following conditions contained in Deed of Transfer Number T2059/1923, namely: -

"Special Conditions

Wilderness Estate

George Freeholds Vo. 12 No. 7 –13 March 1852

General Plan W71

Remaining extent (259,8037 hectares). Without prejudice to existing vested rights (if any) of the public or of any persons whomsoever the Liquidator of the Wilderness Estate Company Limited, in so far as the said Company may be entitled so to do imposes the following special conditions.

ROADS All public roads and all roads shown on the original diagram and/or General Plan W71 shall unless and until closed or altered by competent authority remain free and open as heretofore.

The owner of the remaining extent shall not be under obligation to maintain such roads.

@

RECOGNISED ROAD In this term is included:-

A certain private road, not shown on either the original diagram or the General Plan W71, constructed by the Wilderness Estate Company Limited and called "Whites Road" branching off the public road to The Wilderness at the spot called "Standers House" on the "Lot B of the Wilderness" transferred to the Kerkeraad of the Dutch Reformed Church by transfer No 14200 dated 6th October 1920 and crossing part of that land and eventually crossing part of the remaining extent and again joining the public road aforesaid on the remaining extent, shall remain free and open for the use of owners as hereinafter defined. So long as this road be not taken over by a local or provincial authority and be not proclaimed a public road and as such be maintained by a local or provincial authority, the said road shall remain open for the use of owners as hereinafter defined, but the owner of the remaining extent shall have the right to control the said road and to limit the use of such road to such classes of vehicles or traffic as it may think fit. The owners of Lots "d" and "dd" shall contribute one-half of the cost of maintenance and repair thereof, but in such maintenance and repair shall not be included relaying or re-grading or deviation of any portion thereof.

RECOGNISED PATHS In this term are included:

- (1) A path leading from Lots "d" and "dd" across the remaining extent to the Kaaimans River and to the top of the Hill on the remaining extent, overlooking the Kaaimans River, and what is known as the "Map Of Africa."
- (2) A path leading from Lots "d" and "dd" across the remaining extent direct to the Beach.

The recognised Paths shall (subject to the provisions hereinafter contained) remain free and open for the use of owners as hereinafter defined, provided always that the use of these Recognised Paths shall not constitute a servitude for camping or picnicking and further that the owner of the Remaining extent shall be at liberty at any time to deviate the whole or any part of these paths or to close the same upon providing other roads or paths giving facilities of access of substantially equal degree.

In respect of the portion of the Road shown on the General Plan W71 and included in the Diagram of Transfer No. 9087,22 September 1921, the owner of:-

- (1) Lots "a", "b", "d", "dd", Block E Lots 1,2 and 3.
- (2) The Park
- (3) The Remaining Extent
- (4) Any portions hereafter transferred therefrom

shall make no claim in respect of above portion of the road included in the Diagram of Transfer No 98087 – 22 September 1921 and no objection shall be raised by such owners to the closing and cancellation of the said portion of such road should the owner of the land described in the said Transfer hereafter take any steps to have the same closed or cancelled according to law.

Nothing hereinbefore contained shall be taken as preventing the owner of the Remaining Extent from passing transfer of further portions of the Wilderness Estate subject to similar conditions with or without modification in regard to such further transfers.

BUILDINGS it shall be a condition in respect of all portions which may be hereafter laid out as lots and transferred from the present Remaining Extent that all dwelling houses erected on any such portions shall be built of brick, stone or concrete provided that this shall not apply to what are known as "Sand Plots" being the Lots comprised in Blocks "A", "B", "C", "D" as shown on the General Plan W71, nor to such further plots as the owner of the Remaining Extent may lay out on land similar to Blocks "A", "B", "C", "D".

WATER The owner of the Remaining Extent shall allow the owner of Lots "d" and "dd" access to the Kaaimans River and other sources of water for the purposes of a reasonable supply of water therefrom, whether by pipes or otherwise, provided that this shall not interfere with the present and future rights, if any, of other parties entitled."

- D. ENTITLED to benefits under the terms of the servitude referred to in the endorsement dated 24th February 1928 on Deed of Transfer No T2059/1923 namely:

"By deed of transfer no 1613 dd 24 February 1928 The Wilderness (1921) Limited as owners of the remaining extent of the property set out under Para.2 hereof reserves to itself the right to construct and maintain a road over Lots 28 and 29 Bloc E of the Wilderness Estate and shown on the diagrams annexed to deed of transfer 14199 dd 6th October 1920, as will more fully appear on reference to the said Deed of Transfer."

- E. ENTITLED FURTHER to benefits under terms of servitude referred to in the endorsement dated 23rd April 1928 on the Deed of Transfer Number T2059/192, namely:

"By notarial deed dated 10th March 1928 the owner of the remainder of Wilderness Estate held under para 2 of this deed and its successors is granted the right to construct, maintain and use in perpetuity a road not exceeding 16 feet in width over the property (Lot 27 Block E) held under transfer No. 638 dd 30th January 1928 and shown on the diagrams thereof, as will more appear on reference to the copy annexed hereto."

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F. ENTITLED FURTHER to benefits under the terms of the servitude referred to in the endorsement dated 11th July 1929 on Deed of Transfer Number T2059/1923, namely:-

"By Notarial Deed dd 22 May 1929 the conditions in favour of the land contained in transfer 9209, September 1925 relating to paths buildings and water, etc. have been cancelled and certain other conditions imposed as will more fully appear on reference to the copy annexed thereto."

G. ENTITLED FURTHER to benefits under the terms of the servitude referred to in the endorsement dated 7th April 1932 on Deed of Transfer Number T2059/1923 namely:

"By Deed of Transfer No. 1999 dd 7.4.1932 certain road, more fully described in the diagram No. 498/1932 attached thereto, has been reserved to the owners of the remaining extent of the freehold land now called the Wilderness Estate held under para. 2 hereof, subject to conditions as will more fully appear on reference to the deed of Transfer."

H. ENTITLED FURTHER to the benefits under the terms of the servitude referred to in the endorsement dated 9th June 1932 on Deed of Transfer Number T2059/1923, namely:-

"By Deed of Transfer No. 3497 dd 9.6.1932 the owner of the remainder of the property held by para. 2 hereof is entitled to construct, use and maintain a road across that portion of the property thereby conveyed marked "pathway reserve" on the diagram thereto annexed, as will more fully appear on reference to the said deed of transfer. "

I. ENTITLED FURTHER to benefits under the terms of the servitude referred to in the endorsement dated 21st June 1940 on Deed of Transfer Number T2059/123, namely:-

"By Notarial Deed No. 152/1940 dated 10.6.1940 the properties conveyed by Transfer 6029/1940 have been made subject to conditions relating to persons who may own, lease or occupy the properties, prohibition of trades or business, nature of buildings, walls, fences, etc. provisions for sanitation, water, electric lights, etc. clearing or destroying bush or shrub, for the benefit of Wilderness (1921) Limited as owners of the property conveyed by Para. 2 hereof and the owners of properties which are subject to similar conditions as will more fully appear on reference to the said Notarial Deed registered this day in the Servitude Register under No. 152/1940."

J. ENTITLED FURTHER to benefits under the terms of the servitude referred to in the following endorsement dated 12th August 1947 on Deed of Transfer Number T2059/1923, namely:

"By Deed of Trf. 15345 dated 12.8.1947 the ppty thereby transferred is subject to the following conditions :- that no hotel or boarding house shall be established thereon, but such expression shall include the construction and letting of service flats with necessary outbuildings and appurtenances in favour of portion of the ppty held hereunder."

K. SUBJECT FURTHER to the terms of the servitude referred to in the endorsement dated 25th February 1952 Deed of Transfer Number. T2059/1923, namely:-

"By Not. Deed No. 61/52 dated 15.5.51 the owner of the remainder held under para. 2 hereof has granted to the owners of the properties held by Trfs. 4691/47, 15345/47, 20653/49 and 19389/50 the unimpeded access of light, air and view of the servitude area on the said remainder as indicated in red on extract from General Plan W71 annexed to said Not. Deed (more fully described therein) subject to conditions as will more fully appear on reference to the said Not. Deed, a copy of which is annexed hereto."

L. ENTITLED FURTHER to benefits under the terms of the servitude referred to in the following endorsement dated 23rd December 1949 on Deed of Transfer Number T2059/1923, namely:-

"By Deed of Trf. No. 20653 dated 23 Dec. 1949 the ppty thereby conveyed is subject to the following conditions : that no hotel or boarding house shall be established thereon, but such expression shall not include the construction and letting of service flats with necessary outbuildings and appurtenances in favour of portion of ppty held hereunder. As will more fully appear on reference to said trfr."

M. ENTITLED FURTHER to benefits under the terms of the servitude referred to in endorsement dated 18th November 1958 on Deed of Transfer Number T2059/1923, namely:-

"By Notarial Deed No. 705/1958 dated 21st May 1958.

- (1) A condition prohibiting the establishment of hotels and boarding houses on Lots 15 and 16, Bloc F, Wilderness held by T20653/1949, Lot 15, Block G, and Lot 5, Block F, Wilderness held by T15345/1947 the remainder of Wilderness Extension Township IG and Lots 88 and 85, Wilderness Extension Township site IG held by T4691/1947 has been cancelled. (The said condition being referred to in endorsements dated 12/8/1947 and 23/12/1949 on this Deed).

- (2) Conditions b to f hereinafter set out are imposed against Lots 15 and 16, Block F, Wilderness held by Transfer 20653 dated 23/12/1949 and the remaining extent of Wilderness Extension Township IG (excluding the figure abcde marked on diagram A4501/1931 annexed to Certificate of Consolidated Title No. 4126/32) held by T4691/1947:-
- (b) No trade or business of any description may be carried out on the lot without the written permission of the Company first had and obtained.
 - (c) All buildings erected on the Lot shall be built of brick, stone or concrete, and the ground plan showing the relation of the position of such buildings to the boundaries of the Lot, as well as the elevation plans of such buildings shall be submitted to the Company for its approval in writing before any buildings are commenced.
 - (d) All walls, fences or hedges or like structures abutting upon the road or pathway shall be of a type approved of by the Company. The Company shall not be liable to contribute to the cost of any party for dividing fence or wall, nor to the costs of repair thereof, but it may call upon the said Grant to enclose the said Lot. The said Grant agrees to observe uniformity in respect of fencing line for all fences that may abut on to any road, pathway, open space or property of the company and to maintain all boundary fences of the said Lot in good repair and order. No corrugated iron fence or screen shall be erected on the lot without the leave of the company.
 - (e) The said Grant shall be obliged to plan and maintain at a suitable height such life hedge and/or such trees or shrubs as shall be prescribed by the Company suitably to screen any premises situate on the Lot.
 - (f) The said Grant agrees to be bound not to clear or destroy the trees and bush on the Lot without first consulting the Company, whose consent to such clearing or destroying shall be necessary but shall not unreasonably interfere with the said Grant's full use and enjoyment of the Lot."
- (3) The following condition is imposed against Lot 15, Block G of Lot H, held by Deed of Transfer 15345 dated 12th August 1947;
- "No trade or business of any description may be carried out on the Lot without the written permission of the Company first had and obtained."

(4) That the area marked xCDy on diagram A.4026/1924 annexed to Trf. 7863/1926 of Lot 5 Block F Wilderness held by T15345/1947 is subject to the conditions that the owner shall not without the permission of Wildernes(1921) (Ltd) make or suffer to stand any building, structure or thing whatsoever, including fencing.

(5) That Hugh Owner Bruce Grant as owner of the following properties:-

1. Certain piece of freehold land situate in the Division of George, being Lot 15, Block F, Wilderness;
Held under T20653 dated 23.12.1949.
2. Certain piece of freehold land, situate as above, being Lot 16, Block F, Wilderness;
Held under T 20653 dated 23.12.1949
3. Certain piece of freehold land, situate as above, being Lot 5, Block F, Wilderness.
Held under T15345 dated 12.8.1947
4. Certain piece of freehold land, situate as above, being the remaining extent of Wilderness Extension Township No. IG.
5. Certain piece of freehold land, situate as above, being Lot No. 88 a portion of Wilderness Extension Township Site No. IG.
6. Certain piece of freehold land, situate as above, being Lot No. 85 a portion of Wilderness Extension Site No. IG.
Held under T 4691 dated 20.3.1947.

shall not sell or dispose of any of them save as provided in Clause 5 of the said Notarial Deed."

N. **SUBJECT FURTHER** by virtue of Deed of Transfer No. T10573/1978 to the following conditions imposed by the Administrator of the Province of the Cape of Good Hope in terms of Section 9 of ordinance 33/1934 when approving of the subdivision of Remainder Farm 158 George, namely:-

- (a) The owner of this erf shall without compensation, be obliged to allow electricity, telephone and television cables and/or wires and main and/or other water-pipes and the sewage and drainage, including storm-water of any other erf or erven to be conveyed across this erf, if deemed necessary by the local authority and in such manner and position as may from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time for the purpose of constructing altering, removing or inspecting any works connected with the above.
- (b) The owner of this erf shall be obliged, without compensation, to receive such material or permit such excavation on the erf, as may be required to allow use of the full width of the street and provide a safe and proper slope to its bank owing to difference between the levels of the street as finally constructed and the erf, unless he elects to build retaining walls to the satisfaction of and within a period to be determined by the local authority."

(a)

- O. SUBJECT FURTHER to the terms of the endorsement dated 5 March 1987 on Deed of Transfer Number T6167/1973, which endorsement reads as follows:

"Restant Para2

Kragtens Akte van Transport N. T9457/87 hede gedateer, is die restant van die plaas Nr. 158 groot 175,9896 Ha gehou hieronder, onderhewig aan die volgende voorwarades opgelê deur die Administrateur i.t.v Art 9 van Ord.33/34 tydens die goedkeuring van onderverdeling:

- (a) The owner of this erf shall without compensation be obliged to allow gas mains, electricity, telephone and television cables and/or wires and main and/or other waterpipes and the sewage and drainage including stormwater of any other erf or erven to be conveyed across this erf, and surface installations such as mini-substations, meter kiosks and service pillars to be installed thereon if deemed necessary by the local authority and in such manner and position as may from time to time be reasonably required. This shall include the right of access to the erf at any reasonable time for the purpose of constructing, altering, removing or inspecting any works connected with the above."

- P. SUBJECT FURTHER to the terms of the endorsement dated 14 June 1995 on Deed of Transfer No. T6167/1973, which endorsement reads as follows:-

"Para 2 Restant

Kragtens Notariele Akte Nr K532/95S gedateer 5 April 1995 is binnegemelde eiendom onderhewig aan 'n serwituut van reg van weg t.g.v. Erf 531 Wilderness groot 931 vierkante meter, gehou kragtens T89502/95, soos aangedui deur die lyn AB, BC, CD en geboe lyn Da op Kaart SG No. 11670/94. Soos meer volledig sal blyk uit die notariele akte"

WHEREFORE the said Appearer, renouncing all rights and title which the said

ARIANA VAN HEERDEN, Unmarried

heretofore had to the premises, did in consequence also acknowledge her to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

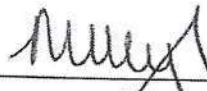
DEON CHRISTO SMIT, Married as aforesaid

his Heirs, Executors, Administrators or Assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R2 200 000,00 (TWO MILLION TWO HUNDRED THOUSAND RAND) .

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on

26 January 2021


g.g.

In my presence



REGISTRAR OF DEEDS

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ANNEXURE “G” – POWER OF ATTORNEY

POWER OF ATTORNEY

I, the undersigned

Deon Christo Smit

the registered owner of

Erf 2023 Wilderness

do hereby appoint Jan Vrolijk Town Planner/Stadsbeplanner to prepare, sign and submit the following application to the George Municipality:

An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the original conditions of approval for Farm 158 known as Constantia Kloof, with specific reference to Condition 4.2 of the approval dated 25 November 1996 to allow for the construction of a concrete and painted dwelling house on Erf 2023 Wilderness.

Signed at Wilderness on 10 August 2026.

A handwritten signature in black ink, appearing to be 'Deon Christo Smit', written over a horizontal line.

Deon Christo Smit

ANNEXURE "H" - CONVEYANCER CERTIFICATE

CONVEYANCER'S CERTIFICATE

IN TERMS OF SECTION 38(1)(n) OF THE GEORGE MUNICIPALITY: LAND USE PLANNING BY LAW, 2023

ERF 2023 WILDERNESS

APPLICATION DETAILS

An application in terms of Section 15(2)(b) of the Land Use Planning By-Law for George Municipality, 2023 for a permanent departure from the original conditions of approval for Farm 158 known as Constantia Kloof, with specific reference to Condition 4.2 of the approval dated 25 November 1996 to allow for the construction of a concrete and painted dwelling house on Erf 2023 Wilderness.

APPLICATION DATE

August 2025

I, the undersigned

ANDALEEN CHIMES a duly qualified and admitted Conveyancer, practicing at A Chimes & Van Wyk Attorneys, Cathedral Street, George do hereby certify as follows:

1. I have perused the following title Deed/s and conducted a search behind the pivot of the said title deed/s at the Deeds Office, Cape Town:

T2881/2021 (current Title Deed)

in respect of:

**ERF 2023 WILDERNESS
IN THE MUNICIPALITY AND DIVISION OF GEORGE
WESTERN CAPE PROVINCE**

IN EXTENT: 1 707 (ONE SEVEN ZERO SEVEN) SQUARE METRES

HELD BY DEED OF TRANSFER NUMBER T2881/2021

REGISTERED in the name of

DEON CHRISTO SMIT

2. I have appraised myself with the details of the abovementioned Land Development Application.
3. The abovementioned Title Deed contains no conditions restricting the contemplated Land Use in terms of the abovementioned Land Development Application.
4. There is no bond registered over the property.

SIGNED at GEORGE on 7 August 2026

A handwritten signature in black ink, appearing to read 'Deon', with a stylized flourish at the end.

CONVEYANCER